

Board of Zoning Appeals Members

District 1: Beverly Williams
District 2: Kemesha Lowery
District 3:
District 4: Miller DeVenny
District 5: Darrell Reid, Vice-Chair
District 6: Mike Couch
District 7: Frances Liu, Chair

**County Attorney**

John K. DuBose III

Clerk to Board of Zoning Appeals

Jennifer Bryan

Development Services Director

Rox Burhans

April 6, 2021

6:00 PM

**101 North Main Street
Lancaster, SC 29720**

**LANCASTER COUNTY BOARD OF ZONING
APPEALS**

**County Council Chambers, County Administration
Building, 101 North Main Street, Lancaster, SC 29720**

AMENDED AGENDA

1. **Call to Order Regular Meeting - Chair**
2. **Roll Call**
3. **Approval of the Agenda - Board of Zoning Appeals**
4. **Citizen's Comments**

[While in-person Citizens Comments are not currently suspended, due to public health and safety considerations and the need for continued social distancing, the County is strongly encouraging citizen input and comments be submitted in writing prior to the meeting. Comments may be submitted via mail to ATTN: Sherrie Simpson, Post Office Box 1809, Lancaster, SC, 29721, by email to Sherrie Simpson at ssimpson@lancastersc.net or by online submission by selecting the "Citizens Comments" quick link located on the County website homepage at <https://www.mylancastersc.org/> Comments must be no longer than approximately 3 minutes when read aloud. Comments received will be acknowledged during the Citizens Comments portion of the meeting. Comments will need to be received prior to 4:00 p.m. on the day of the meeting. Please use the same link above in order to submit input/comments for Public Hearings.]

5. **Approval of Minutes**
 - a. March 2, 2021 - Regular Minutes

6. **Public Hearing Items**

- a. VAR-2021-0490, Chick-Fil-A
Application by Esencia Architecture, requesting a variance from Unified Development Ordinance Section 2.4. The subject property is located at 10032 Charlotte Highway, Indian Land, SC (TM# 0005-00-102.06) in the Regional Business (RB) District.

7. **New Business**

8. **Adjourn**

Please note that the Board of Zoning Appeals makes the final decision on all items.

Anyone requiring special services to attend this meeting should contact 285-1565 at least 24 hours in advance of this meeting. Lancaster County Board of Zoning Appeals agendas are posted at the Lancaster County Administration Building and are available on the Website: www.mylancastersc.org

***Meetings are live streamed and can be found by using the following link:
<https://www.youtube.com/channel/UCgSImrcYjcYcu1m-e6TV54w>***

Agenda Item Summary

Ordinance # / Resolution #:

Contact Person / Sponsor:

Department: Board of Zoning Appeals

Date Requested to be on Agenda: 4/6/2021

Issue for Consideration:

Points to Consider:

N/A

Recommendation:

N/A

ATTACHMENTS:

Description	Upload Date	Type
March 2, 2021 - Regular Meeting	3/15/2021	Exhibit



MEMBERS OF LANCASTER COUNTY BOARD OF ZONING APPEALS

BEVERLY WILLIAMS, DISTRICT 1
KEMESHA LOWERY, DISTRICT 2
VACANT, DISTRICT 3
MILLER DEVENNY, DISTRICT 4
DARRELL REID, DISTRICT 5
MIKE COUCH, DISTRICT 6
FRANCES LIU, DISTRICT 7

**MINUTES OF THE LANCASTER COUNTY BOARD OF ZONING APPEALS
REGULAR MEETING**

MARCH 2, 2021

Members Present: Frances Liu, Darrell Reid, Beverly Williams, Kemesha Lowery, Miller DeVenny, Mike Couch. A quorum of Lancaster County Board of Zoning Appeals was present for the meeting.

Members Absent: None

Others Present: Robert Tefft, Senior Planner; Mika Garriss, Zoning Secretary; John DuBose, County Attorney.

Members of the press were not present. All adjacent property owners were notified by certified mail. A notice was published in the local newspaper to include meeting place, date, time and the agenda and a copy on file.

Call Meeting to Order

Chair Liu called the meeting to order at 6:01 PM.

Approval of Agenda

Member Reid moved to approve the agenda, which was seconded by Member Williams. Motion passed by 6-0.

Approval of Minutes from February 2, 2021

Member Couch moved to approve the minutes, which was seconded by Member Williams. Motion passed by 5-0 (Member DeVenney abstained).

Public Hearing Items

VAR-2021-0014

Application by Lucy and William Lane, requesting a variance from Section 12, Setbacks and Yards, of Lancaster County Ordinance No. 2015-1346. The subject property is located at 1048 Castle Road, Indian Land, SC (TM# 0010N-0A-126.00) in a Planned Development District (PDD).

Robert Tefft, Senior Planner, provided an overview of the variance request consistent with the staff report.

William Lane, applicant/homeowner, discussed with the Board the revisions made following the discussions at last month's hearing.

Member Couch discussed with Mr. Lane the current setbacks of the house and the resulting setbacks for the proposal.

Member Reid asked Mr. Lane if they commissioned the survey/plat. Mr. Lane responded that it was provided by the builder/developer.

Chair Liu discussed with Mr. Lane the difficulty with hardship and tweaks that could be made (adjusting to be parallel to setback line).

Chair Liu discussed with Mr. Lane the issue of burden of proof and variance criteria ii. regarding the use of land if variance is not granted.

Mr. Lane noted to the Board that he spoke with several of his neighbors regarding his proposal and that there were none in objection.

Chair Liu asked Mr. Tefft about the setbacks for the pool which was previously a part of the proposal. Mr. Tefft noted that setbacks for pools are different from those for the proposed porch and, as was previously proposed, did not require a variance.

Member Couch discussed with Mr. Lane the revisions to the proposal and impact upon the prior proposed pool.

Member Couch discussed having the width of the addition reduced to comply with setbacks, but also extended along the full width of home so that it would be long and narrow.

Member Reid commended applicant on the redesign of the proposal.

Chair Liu called for a motion.

Member Williams made a motion to approve the variance, which was seconded by Member Reid.

Chair Liu discussed motion procedures with County Attorney DuBose.

The Board reviewed the application against the variance criteria, and determined that the application failed to meet the following variance findings:

- i. That there are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of this ordinance (vote of 3-3);
- ii. That if the applicant complies with the provisions of the ordinance, the property owner seeking the variance can secure no reasonable return from, or make no reasonable use of his property (vote of 1-5); and
- vii. That the variance is the minimum necessary to afford relief (vote of 1-5).

On suggestion of County Attorney DuBose, no vote was taken on criterion viii.

Motion failed. The Board agreed that the above criteria were not met. The variance is denied.

Mr. Lane expressed to the Board his disappointment in their decision and that he is upset that his time and effort was wasted addressing the discussion which occurred at the prior month's meeting.

Chair Liu stated for the record that the Board had indicated to the applicant at the prior month's meeting that there was no guarantee of an outcome based upon making adjustments.

VAR-2021-0256

Application by Donna Zielinski, St. Clair Signs, requesting a Variance from Unified Development Ordinance Section 7.4.5.A. The subject property is located at 9990 Charlotte Highway, Indian Land, SC (TM# 0005-00-101.01) in the General Business (GB) District.

Robert Tefft, Senior Planner, provided an overview of the variance request consistent with the staff report.

Member Couch asked if there is any other signage on the Charlotte Highway facing building façade. Mr. Tefft responded that he was uncertain.

Morgan Cox, applicants' representative, addressed the Board on the need/requirement for the proposed variance.

Chair Liu discussed with applicant the changes proposed to be made to the freestanding sign and that language will include "food market."

Member Couch asked the applicant if there is any signage along the Charlotte Highway facing building façade. The applicant responded that there is none.

Member Couch asked the applicant if there is any signage on the north façade. The applicant responded that there is none, and that there is only signage at the southeast corner of the building.

Member Couch asked the applicant why there is no signage facing Charlotte Highway or north. The applicant responded that it is to maintain consistency with branding standards for Lidl.

Member Couch stated his opinion that the Charlotte Highway façade would be a better location for visibility.

Chair Liu and Mr. Tefft discussed whether the requirement for parking at the rear of the building resulted in the building being oriented away from Charlotte Highway.

Member Williams asked Mr. Tefft if the maximum signage is per building or per building façade, and then asked if signage was on west elevation would a variance be needed. Mr. Tefft responded that the maximum signage is per building façade and that if the proposed signage was on west elevation, given the applicants assertion that there is no existing signage, that a variance would not be needed.

Member Lowery asked the applicant why the sign is not proposed to be located on the west facade. The applicant responded that the location of the sign is for branding consistency.

Chair Liu and the applicant discussed issues of need for food market signage and location of signage.

Member Williams stated her opinion that the existing monument is out of place and should be on other side of the drive in order to draw better attention.

Chair Liu noted that she agreed with the opinion of Member Williams.

Chair Liu asked the Board if they had any thoughts on tabling the application so that the applicant could take the Board's thoughts into account as part of a redesign.

Member Couch stated that if the applicant was to take the Board's thoughts into account they would not need to return.

Chair Liu and County Attorney DuBose discussed thoughts on making a motion.

Applicant asked a general question regarding the color of the letters on other elevation. Mr. Tefft indicated that letter color would not be an issue.

Chair Liu called for a motion.

Member Williams made a motion to approve the variance, which was seconded by Member Lowery.

The Board reviewed the application against the variance criteria, and determined that the application failed to meet the following variance findings:

- i. That there are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of this ordinance (vote of 0-6);
- ii. That if the applicant complies with the provisions of the ordinance, the property owner seeking the variance can secure no reasonable return from, or make no reasonable use of his property (vote of 0-6);
- iii. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings located in the same land development district (vote of 0-6); and
- v. That the special conditions and circumstances referenced in iii, above, result from the application of this ordinance and not from the actions of the applicant (vote of 2-4).

On suggestion of County Attorney DuBose, no vote was taken on criteria vi., vii., and viii.

Motion failed. The Board agreed that the above criteria were not met. The variance is denied.

Applicant asked if a sign could be installed anywhere on the west façade, or if it would be limited to that portion of the façade consisting of brick.

Member Williams responded that anywhere on the façade is permissible.

New Business:

Mr. Tefft provided an update on next month's agenda to include a request for a Special Exception permit for a campground at 5897 Goldmine Highway, and a variance from side setback requirements for the Chick-Fil-A at 10032 Charlotte Highway.

Mr. Tefft and the Board welcomed new member Miller DeVenny. Member DeVenny introduced himself to the Board.

Adjournment:

With there being no further business, Member Reid moved to adjourn the meeting, which was seconded by Member Lowery. Motion passed unanimously. The Board of Zoning Appeals adjourned at 7:04 PM.

CHAIR

ZONING OFFICIAL

Agenda Item Summary

Ordinance # / Resolution #:

Contact Person / Sponsor:

Department: Board of Zoning Appeals

Date Requested to be on Agenda: 4/6/2021

Issue for Consideration:

Points to Consider:

n/a

Recommendation:

n/a

ATTACHMENTS:

Description	Upload Date	Type
Staff Report	3/22/2021	Planning Staff Report
Ex 1: Application	3/22/2021	Exhibit
Ex 2: Location / Zoning Map	3/22/2021	Exhibit
Ex 3: Property Report	3/22/2021	Exhibit
Ex 4: Deed	3/22/2021	Exhibit
Ex 5: Ordinance	3/22/2021	Exhibit

REQUEST: Application by Esencia Architecture, requesting a variance from Unified Development Ordinance Section 2.4.

PROPERTY LOCATION: 10032 Charlotte Highway

TAX MAP NUMBER: 0005-00-102.06

ZONING DISTRICT: Regional Business (RB) District

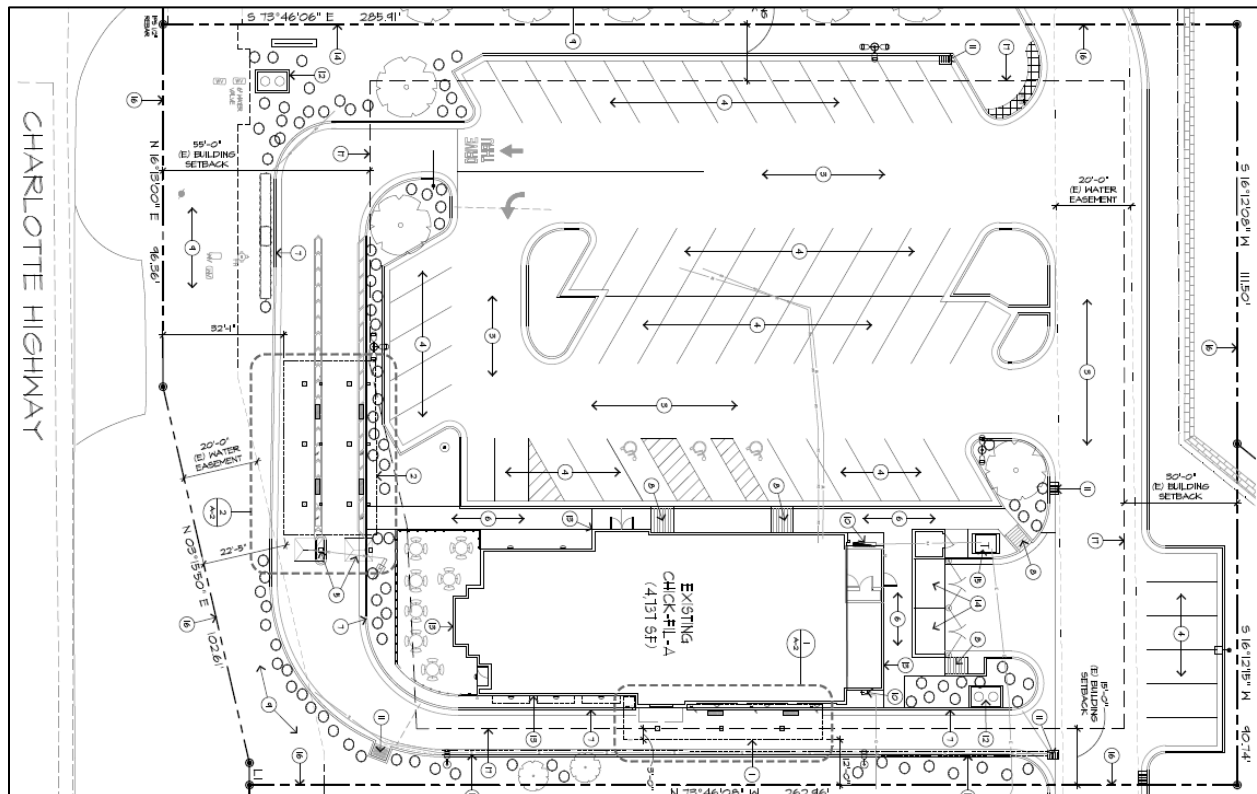
OWNER: Chick-Fil-A, Inc

APPLICANT: Esencia Architecture

OVERVIEW:

Background

The subject property is approximately 1.298 acres in size and is located on the east side of Charlotte Highway and adjacent to the Walmart Super Center. The property is developed with a 4,737 square foot building and off-street parking, as well as a dual lane drive-thru wrapping around the west and south sides of the property.



The property owner is proposing to install two canopies (accessory structures) over two portions of the dual lane drive-thru to improve the environment for their employees. The first canopy, known as the “face-to-face” canopy, would measure approximately 25 feet by 46 feet (1,150 square feet) and would be set back 22’-5” from the Charlotte Highway right-of-way. Pursuant to Unified Development Ordinance (UDO) Section 2.4, accessory structures over 600 square feet must comply with the principal setback

requirement. Therefore, this canopy must comply with the 50' principal front setback requirement for the Regional Business (RB) District. The applicant has requested to reduce this setback to 22'-5".

The second canopy, known as the "meal delivery" canopy, would measure approximately 9.5 feet by 53 feet (503.5 square feet) and would be set back 12'-0" from the south property line. Pursuant to UDO Section 2.4, accessory structures within the RB District shall have a side setback of 50'. The applicant has requested to reduce this setback to 12'-0".

It should be noted, however, that in addition to the aforementioned variances the proposal would also require a variance from UDO Section 1.4.7.B, which establishes that accessory structures may not be permitted closer than 30' to rights-of-way. This applies only to the "face-to-face" canopy and not the "meal delivery" canopy.

Summary of Adjacent Zoning and Uses

	Zoning District	Use
North	RB	Open Space
South	RB	Retail
East	RB	Open Space
West	LDR	Single-Family Detached Dwelling

Public Comment:

Staff has not received any letters or emails in support or opposition to this variance request.

RELATION TO THE UNIFIED DEVELOPMENT ORDINANCE:

UDO Section 1.4.7.B, Location, Maximum Number, and Maximum Area

Standards	Single-Family/Two-Family Lots – Less than ½ Acre	Single-Family/Two-Family Lots – ½ Acre to 2 Acres	All Other Uses and Lots Larger than 2 Acres
1. Permitted Location	Side/rear yard only	Side/rear yard only	Permitted in all yards – may not be closer than 30 ft. to right-of-way
2. Maximum Number Permitted	2	2	No maximum
3. Maximum Building Footprint	750 sq. ft. per structure; Aggregate area no greater than 75% of the principal structure	1500 sq. ft. per structure; Aggregate area no greater than 75% of the principal structure	No maximum

UDO Section 2.4, District Development Standards

STANDARD	Regional Business (RB)
3. PRINCIPAL BUILDING	
A. Principal Front Setback (min)	50 ft
B. Street Side/Secondary Front Setback (min)	15 ft

C. Side (from adjacent lot) Setback (min)	15 ft
D. Rear Setback (min)	15 ft
E. Other Standards	See Below (4)
4. ACCESSORY STRUCTURE	
A. Side Setback	50 ft
B. Rear Setback	30 ft
C. Other Standards	See Below (1, 2)

1. *Accessory structures over 600 sf must comply with principal setback requirement.*
2. *No accessory structures may be located on corner lots between the street and wall line of the principal structure.*
3. *No accessory structures may be located on corner lots between the street and wall line of the principal structure, unless front setback requirements are provided on both streets.*
4. *For any nonresidential structure which is located immediately adjacent to a single family residential use or district, the lot boundary line minimum distance shall be determined as follows: For every foot building height, the developer shall provide setbacks equal to the height of the building. At no time shall the setback be less than what is indicated in the above table.*
5. *Any development/subdivision connected to both public water and sewer shall utilize the alternate dimensional standards given in the table.*

UDO Section 9.2.12.A, Purpose/Limitations

1. **Purpose:** The variance process administered by the Board of Zoning Appeals is intended to provide limited relief from the requirements of this ordinance in those cases where strict application of a particular requirement will create a practical difficulty or unnecessary hardship prohibiting the use of the land in a manner otherwise allowed under this ordinance.
2. **Financial Hardship Not Sufficient Ground for Variance:** It is not intended that variances be granted merely to remove inconveniences or financial burdens that the requirements of this ordinance may impose on property owners in general or to increase the profitability of a proposed development.
3. **Use Variances Not Permitted:** In no event shall the Board of Zoning Appeals grant a variance which would allow the establishment of a use which is not otherwise allowed in a land development district or which would change the land development district classification or the district boundary of the property in question. Nor shall the Board grant a variance which would allow the establishment of a use set forth herein as requiring certain conditions or standards under conditions or standards less than those minimums.
4. **Authority Limited to this Ordinance/ Conflicts with other Laws Prohibited:** In no event shall the Board of Zoning Appeals grant a variance which would conflict with the International Building Code, as amended, or any other state code unless otherwise authorized by duly enacted applicable laws and regulations.

UDO Section 9.2.12.C.2, Standard of Review

- a. **General Variance Requests:** The Board of Zoning Appeals shall not grant a variance unless and until it makes all of the following findings:
 - i. That there are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of this ordinance;

- ii. That if the applicant complies with the provisions of the ordinance, the property owner seeking the variance can secure no reasonable return from, or make no reasonable use of his property;
- iii. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings located in the same land development district;
- iv. That the variance will not materially diminish or impair established property values within the surrounding area;
- v. That the special conditions and circumstances referenced in iii, above, result from the application of this ordinance and not from the actions of the applicant;
- vi. That the variance is in harmony with the general purpose and intent of this ordinance and preserves its spirit;
- vii. That the variance is the minimum necessary to afford relief; and
- viii. That the public health, safety and general welfare have been assured and substantial justice has been done.

ATTACHMENTS:

- 1. Variance Application
- 2. Location / Zoning Map
- 3. Property Report
- 4. Deed
- 5. Ordinance

STAFF CONTACT:

Robert G. Tefft, Senior Planner
rtefft@lancastersc.net | 803-416-9394

BOARD OF ZONING APPEALS APPLICATION

IF YOU NEED ASSISTANCE WITH THIS APPLICATION, PLEASE CONTACT OUR OFFICE AT 803-416-9777.
PLEASE SUBMIT THE COMPLETED APPLICATION, ALL ADDITIONAL MATERIAL ALONG WITH THE REQUIRED FEE
\$325.00.

THE FOLLOWING INFORMATION MUST BE PROVIDED FOR THE REQUEST:

PROPERTY INFORMATION:

TAX MAP NUMBER: 0005-00-102.06
STREET ADDRESS: 10032 Charlotte Hwy
CITY/ STATE/ ZIP CODE: Indian Land
LOT DIMENSIONS/ LOT AREA: 1.298 PLAT BOOK/PAGE: 2020/521
CURRENT ZONING CLASSIFICATION: NCOM

PROPERTY OWNER OF RECORD:

NAME: Chick-Fil-A
ADDRESS: 5200 Buffington Rd
CITY/STATE/ZIP CODE: Atlanta, GA 30349 TELEPHONE/FAX NUMBER: (470) 539-0522
EMAIL ADDRESS: jason.rosier@cfacorp.com

SIGNATURE OF OWNER/ DATE: [Signature] 11/9/2020

I HAVE APPOINTED THE INDIVIDUAL OR FIRM LISTED BELOW AS MY REPRESENTATIVE IN CONJUNCTION WITH THIS MATTER
RELATED TO THE BOARD OF ZONING APPEALS.

AGENT OF OWNER:

NAME: Kat Alvarez Esencia Architecture
ADDRESS: 1743 E McNair Dr Ste 200
CITY/STATE/ZIP CODE: Tempe, AZ 85283 TELEPHONE/FAX NUMBER: _____
EMAIL ADDRESS: alvarez@esencia.org

SIGNATURE OF AGENT/ DATE: _____

SIGNATURE OF OWNER/ DATE: [Signature] 11/9/2020

VARIANCE APPLICATION

DATE FILED: _____ APPLICATION NO. _____

1. APPLICANT HEREBY APPEALS TO THE BOARD OF ZONING APPEALS FOR A VARIANCE FROM THE STRICT APPLICATION TO THE PROPERTY DESCRIBED IN THE NOTICE OF APPEAL (FORM 1) OF THE FOLLOWING PROVISIONS TO THE UNIFIED DEVELOPMENT ORDINANCE:

Section 2.4 District Development standards relief of rear and side yard set backs for accessory structures.

SO THAT A ZONING PERMIT MAY BE ISSUED TO ALLOW USE OF THE PROPERTY IN A MANNER SHOWN ON THE ATTACHED PLOT PLAN, DESCRIBED AS FOLLOWS:

Installation of a face to face order point canopy located in the existing drive thru beyond the 50' set back and a meal delivery canopy at the existing pick up window located on the rear side of the property's 30' accessory structure set back.

FOR WHICH A ZONING OFFICIAL HAS DENIED A PERMIT ON THE GROUNDS THAT THE PROPOSAL WOULD BE IN VIOLATION OF THE CITED SECTION (S) OF THE UNIFIED DEVELOPMENT ORDINANCE.

N/A

2. THE APPLICATION OF THE ORDINANCE WILL RESULT IN UNNECESSARY HARDSHIP, AND THE STANDARDS FOR A VARIANCE SET BY STATE LAW AND THE ORDINANCE ARE MET BY THE FOLLOWING FACTS:

- i. THAT THERE ARE PRACTICAL DIFFICULTIES OR UNNECESSARY HARDSHIPS IN THE WAY OF CARRYING OUT THE STRICT LETTER OF THIS ORDINANCE;

The ordinance set back requirements restricting accessory structure location for this property impacting the ability Chick-Fil-A has to help mitigate traffic and provide a healthy work environment for team members working out doors during peak hours of operation.

- ii. THAT IF THE APPLICANT COMPLIES WITH THE PROVISIONS OF THE ORDINANCE, THE PROPERTY OWNER SEEKING THE VARIANCE CAN SECURE NO REASONABLE RETURN FROM, OR MAKE NO REASONABLE USE OF HIS PROPERTY;

N/A

- iii. THAT SPECIAL CONDITIONS AND CIRCUMSTANCES EXIST WHICH ARE PECULIAR TO THE LAND, STRUCTURE OR BUILDING INVOLVED AND WHICH ARE NOT APPLICABLE TO OTHER LANDS, STRUCTURES OR BUILDINGS LOCATED IN THE SAME LAND DEVELOPMENT DISTRICT;

Chick-Fil-A would like to provide a healthy work environment by protecting team members working outside from harsh weather and sun in the drive thru lanes and pick up window areas and help mitigate traffic back ups.

- iv. THAT THE VARIANCE WILL NOT MATERIALLY DIMINISH OR IMPAIR ESTABLISHED PROPERTY VALUES WITHIN THE SURROUNDING AREA;

Canopies are engineered and designed to blend in with the surrounding architectural standards, and will not create any additional noise or noxious fumes.

- v. THAT THE SPECIAL CONDITIONS AND CIRCUMSTANCES REFERENCED IN III, ABOVE, RESULT FROM THE APPLICATION OF THIS ORDINANCE AND NOT FROM THE ACTIONS OF THE APPLICANT;

Restricting the location of the accessory canopies would continue to impact employee safety and the current traffic issues.

- vi. THAT THE VARIANCE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ORDINANCE AND PRESERVES ITS SPIRIT;

And will be designed to conform with the architectural standards of the RB district.

- vii. THAT THE VARIANCE IS THE MINIMUM NECESSARY TO AFFORD RELIEF; AND

Help provide faster service reducing wait times which in turn help with traffic relief.

- viii. THAT THE PUBLIC HEALTH, SAFETY AND GENERAL WELFARE HAVE BEEN ASSURED AND SUBSTANTIAL JUSTICE HAS BEEN DONE

By providing relief from the sun and other inclement weather conditions, the team members can work outdoors for a longer duration and help speed meal delivery.

3. THE FOLLOWING DOCUMENTS ARE SUBMITTED IN SUPPORT OF THIS APPLICATION: (A PLOT PLAN MUST BE SUBMITTED)
Architectural plans and a narrative.

Date: 2/3/21

Applicant Signature: Kat Alvarez



DEVELOPMENT SERVICES

101 N. MAIN STREET, P O BOX 1809, LANCASTER SOUTH CAROLINA, PHONE (803) 285-1969 EMAIL PERMITS@LANCASTERCOUNTYSC.NET

COMMERCIAL PERMIT APPLICATION

Date: _____

Permit Type (Please Check All that apply):						
Building ☐	Demo ☐	Zoning Only ☐	Gas ☐	Mechanical ☐	Plumbing ☐	Electrical ☐
Interior Remodeling only ☐	Fire Alarm System New ☐	Fire Alarm System Renovation ☐	Fire Sprinkler ☐	Alternate Fire Suppression System ☐	Entire Job Cost \$	

- Please allow 1-2 days for processing of permit once plans have been approved.
- New building must provide well/septic approval or tap fee verification.
- Permits requiring site plan approval cannot be issued until site plans are approved.

Address of Construction Location: 10032 Charlotte Hwy. Indian Land, SC 29707

Description of work: Install two (2) canopies over existing drive thru.

Project Name: CFA Canopy Project #2797 **Parcel ID:** 0005-00-102.06

Gross building area _____ sq/ft Number of stories _____ Alarm Yes or No? Panic hardware Yes or No?
Emergency Lighting Yes or No? Sprinklered Yes or No?

Property Owner(s): Chick-fil-A Corp./ Jason Rosier **Phone #** (470)539-0522

Address: 5200 Buffington Rd. Atlanta, GA 30349

Email: jason.rosier@cfacorp.com

General Contractors Name: TBD

Phone: _____

Address: _____ **City:** _____ **State:** _____ **Zip:** _____

SC Contractors License #: _____ **Group Classification** _____

Email: _____

Fire Alarm Contractor Name: N/A **SC Contractors License #:** _____

Address: _____ **City:** _____ **State:** _____ **Zip:** _____

Phone: _____ **Email:** _____

Electrical Sub:	_____
SC License #:	_____
Group Classification	_____
Job Cost:	_____
Mechanical Sub:	_____
SC License #:	_____
Group Classification	_____
Job Cost:	_____
Plumbing Sub:	_____
SC License #:	_____
Group Classification	_____
Job Cost:	_____
Water provider:	_____
Electrical Provider:	_____
Sewer provider:	_____
Gas Provider:	_____

Provide driving directions: _____

Occupant Load: _____ Occupancy Type: A-1 A-2 A-3 A-4 A-5 B E F-1 F-2 H-1 H-2 H-3 H-4 H-5 I-1 I-2 I-3 I-4 M R-1 R-2 R-3 R-4 S-1 S-2 U

Construction Type: IA IB IIA IIB IIIA IIIB IVA IVB VA VB

***Acknowledgement of SC 6-29-1145: IS THIS TRACT OR PARCEL OF LAND RESTRICTED BY ANY RECORDED COVENANT THAT CONFLICTS WITH OR PROHIBITS THE ACTIVITY YES/NO?

Acknowledgement of Asbestos RegulationsFederal and State Asbestos regulations require responsible parties to have SCDHEC licenses building inspector inspect regulated structures for the presence of asbestos and to obtain SCDHEC required project licenses. Please ensure that these requirements are met prior to conducting any abatement, renovations or demolition activities. Contact the SCDHEC Asbestos Section if you have any questions.

The general contractor is responsible for ensuring all sub-contractors are licensed in the state of South Carolina to a level commensurate to their contract price. The Development Service Department cannot intervene in any disputes between the contractor and owner.

I understand that if this statement is found to be false then the permit issued pursuant to this application will be rendered null and void and the sole recourse of any one relying upon this permit in purchasing the property or in providing goods or services to the applicant or for the benefit of the property shall be against the applicant and not against Lancaster County who, pursuant to South Carolina Code 6-29-1145 is issuing the permit in reliance of this statement by applicant.

Any information provided on this document may be subject to the South Carolina Freedom of Information Act and may be disclosed to third parties in accordance with applicable law.

X Kat Alvarez
Contractor/Agent Signature

X Kat Alvarez
Print

X Jim E. Kim
Property Owner Signature

X Jason Rosier
Print

January 14, 2020

Lancaster County
Planning Department
101 N. Main Street
Lancaster, South Carolina

Regarding: **Project Narrative**
Chick-Fil-A # 2797
10032 Charlotte Highway
Indian Land, South Carolina 29707

Dear Lancaster County Planning Department,

Chick-Fil-A would like to submit the following documents as they are seeking a variance for their existing site located at 10032 Charlotte Highway, the southeast corner of Charlotte Highway and Shirley Drive.

Chick Fil A is a southeast corner parcel located adjacent to the south side of the Walmart Super Center, and is fully developed per county standards. The 4,737 square foot building is located in the south end of the property with on-site parking to the north and west portion of the property, the site has an existing dual lane drive thru on the north and west side of the site. Vehicular access is from the shopping center's private drives and no direct access is provided from Charlotte Highway. The fast-food restaurant has been in operation for several years and was constructed with a dual lane queuing aisle with canopy covered menu boards in the existing drive thru lanes. The covered menu boards were approved to be constructed beyond the existing 55'-0" accessory structure setback line adjacent to Charlotte Highway.

Chick-Fil-A has seen success with this order point menu board canopy and would like to install the two canopies in the existing drive thru lane to help with their operations. The Face-to-Face canopy would be 9'-6" tall from bottom of deck to top of conc. pavement and cover an area of 1,136 sq. ft., it will be located in the drive-thru lane beyond the existing 55'-0" accessory structure setback line located close to the entrance of the drive thru lane, the Meal Delivery Canopy a 489 sq. ft., and at 9'-6" high from bottom of deck to top of pavement would be installed on the South side of the building at the pick-up window, the overhang of this canopy would encroach into the existing building setback line by 3'-0" near the south property line if this canopy were considered attached to the existing building, if not considered as such, then this canopy would be located beyond the 30'-0" rear accessory building setback line.

Chick-Fil-A has installed these types of canopies at other locations to help mitigate traffic issues and improve the employee environment. The Face- to- Face Canopy and Meal Delivery Canopies will allow team members to serve several cars at a time. They will provide a healthier work environment protecting the team members from inclement weather conditions and the sun.

Both canopy structures will be free-standing and constructed of steel framing, cantilevered beams with caisson footings, the supporting columns can be left with a powder coat paint finish for a more modern look, or can be framed and wrapped, with finishes matching the existing restaurant building. The new canopies will be outfitted with recessed L.E.D. lighting installed within a premanufactured painted metal deck. Fans and heaters are installed to provide relief to the Team Members from inclement weather.

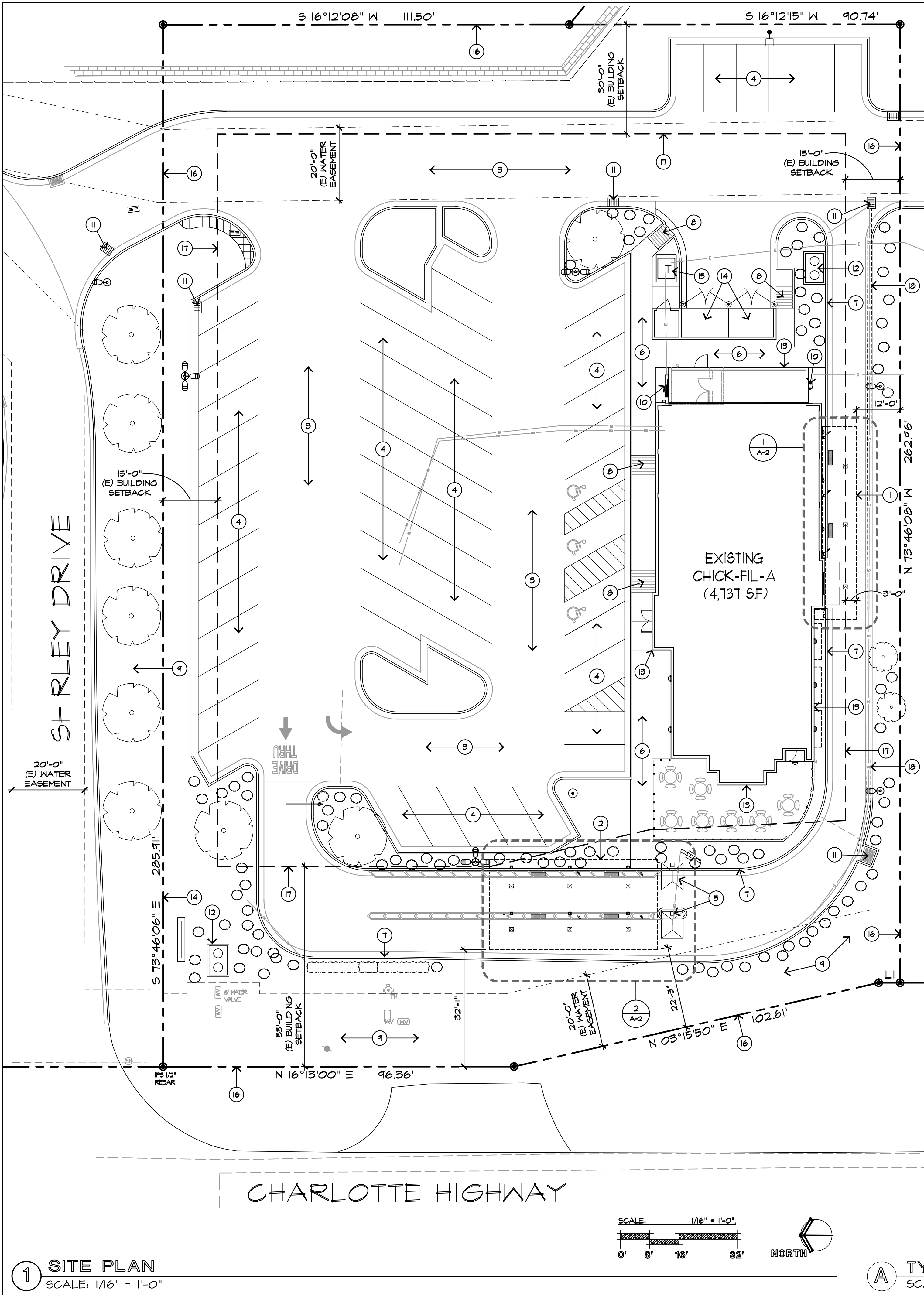
The installation of the canopies will not impact existing grading and drainage water flow patterns. Existing landscaping will not be affected as no trees or shrubs will need to be removed for the installation, pervious and non-pervious areas will not be altered.

With Chick-Fil-A being closed on Sundays, the construction of the canopies is a three-phase process taking less than 3 weeks to complete. In the first week, the footings, and underground conduit are installed, backfill of trenching and patching the pavement occurs, the work takes place starting on Saturday at 9:00 PM and finishes on Monday morning at 6:00 AM. All excess dirt from the footing and trenching is immediately hauled off the site, so no storm water pollution occurs. During the second week, steel is erected, roof decking installed, along with the lights, and fans, in the third week, utility connections are finalized and the C of O is scheduled.

Between the construction weekends, during normal hours of operation there is no impact to the site or adjacent properties as the restaurant and drive thru service remain in operation and the construction areas are safely barricaded off protecting the public during the duration of construction.

Chick-Fil-A is excited about this opportunity, and is looking forward to working with the staff at Lancaster County to achieve their goals.

Frank Gawdun, Project Manager
esencia LLC
480-755-0959 ext. 121



LEGAL DESCRIPTION

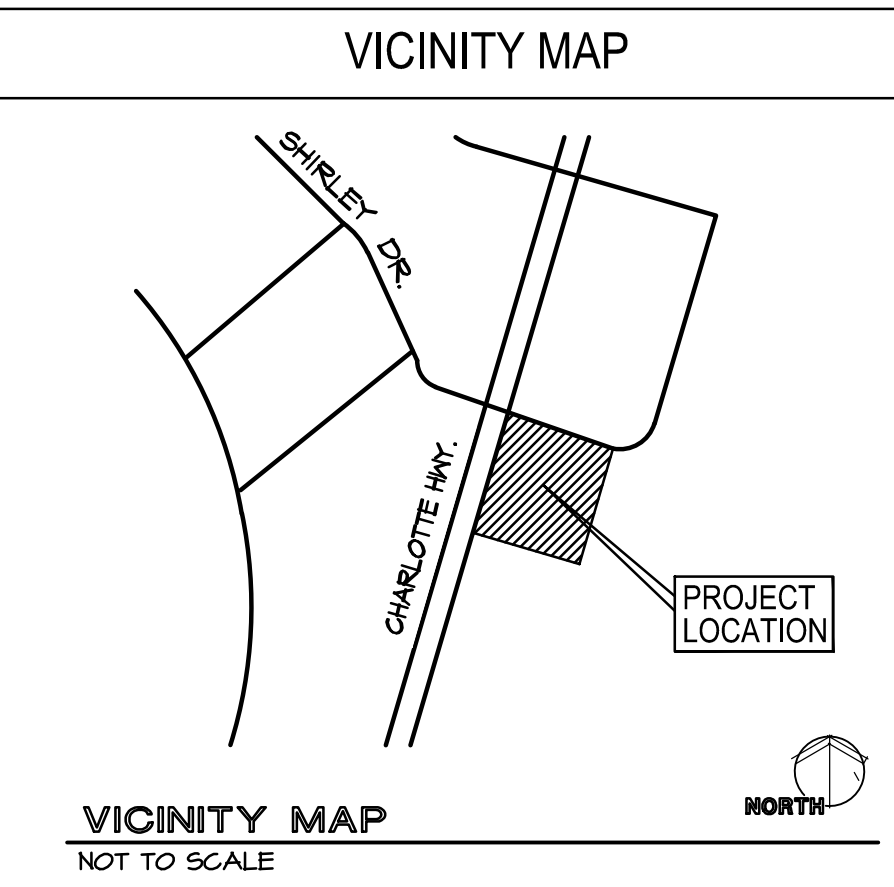
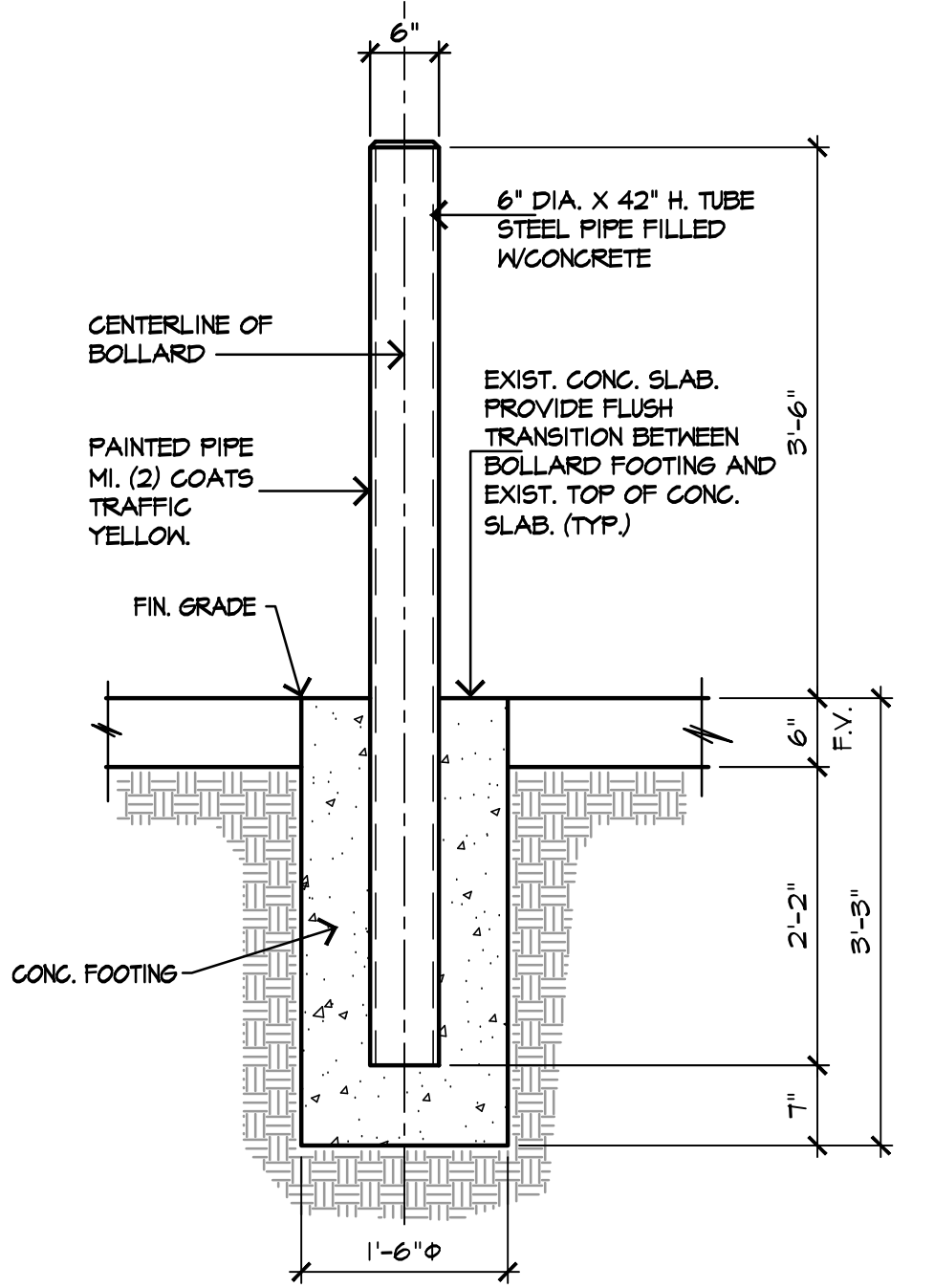
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN FORT MILL, LANCASTER COUNTY, SOUTH CAROLINA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING FROM SOUTH CAROLINA GEODETIC CONTROL MONUMENT "STATE AZ MK", SAID MONUMENT HAVING GRID COORDINATES (NAD 83) N:1155534.270, E: 2,044,004.830; THENCE N 1°04'44" E A DISTANCE OF 361.26' TO A 5/8" REBAR FOUND ALONG THE EASTERN RIGHT-OF-WAY TO US HWY. 521 (VARIABLE R/W); THENCE WITH SAID RIGHT-OF-WAY N 16°13'00" E A DISTANCE OF 157.41' TO A 1/2" REBAR SET, SAID PIN BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING WITH SAID RIGHT-OF-WAY THE FOLLOWING CALLS: N 16°13'00" E A DISTANCE OF 5.84' TO A 1/2" REBAR SET; THENCE N 03°15'50" E A DISTANCE OF 102.61' TO A 1/2" REBAR SET; THENCE N 16°13'00" E A DISTANCE OF 96.36' TO A 1/2" REBAR SET; THENCE LEAVING SAID RIGHT-OF-WAY S 73°46'06" E A DISTANCE OF 225.91' TO A 1/2" REBAR; THENCE S 16°12'15" W A DISTANCE OF 90.74' TO A 1/2" REBAR SET; THENCE N 73°46'06" W A DISTANCE OF 262.96' TO A 1/2" REBAR SET, SAID PIN BEING THE TRUE POINT OF BEGINNING.

SWPPP GENERAL NOTES

NOTE TO CITY / COUNTY ENGINEERING DEPT. THE CONSTRUCTION OF THIS PROJECT DOES NOT REQUIRE ANY CUT / FILL OR GRADING. ALL FOOTINGS REGARDLESS OF TYPE ARE EXCAVATED ON THE FIRST DAY OF CONSTRUCTION, EXCESS DIRT HAULED OFF IMMEDIATELY AND DISPOSED OF PER CITY / COUNTY REQUIREMENTS. ALL TRENCHING IS DUG, ELECTRICAL AND OR GAS LINES INSTALLED, TRENCH IS BACKFILLED ON THE SAME DAY. NO GRADING ELEVATIONS CHANGES OCCUR NOR DISTURBANCE OF ANY WATER DRAINAGE PATTERNS. PERVIOUS OR NON-PERVIOUS AREAS ARE NOT AFFECTED. THEREFORE A STORM WATER PREVENTION PLAN IS NOT REQUIRED FOR THIS PROJECT.

PROPERTY LINE MEETS BOUNDS		
LINE	BEARING	DISTANCE
LI	N 16°13' 00" E	5.84'



SHEET INDEX

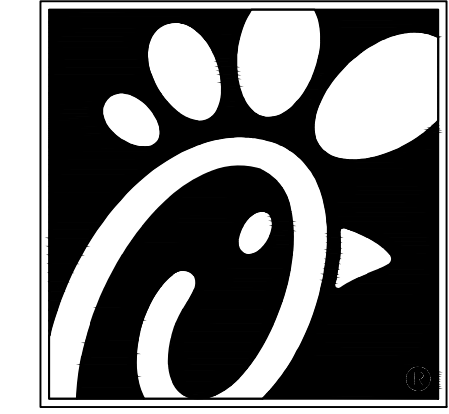
A-1	PROJECT DATA & OVERALL SITE PLAN
A-2	ENLARGED CANOPY PLAN

PROJECT DATA	
1. PROJECT NAME:	CHICK-FIL-A, #2797
2. PROJECT ADDRESS:	10032 CHARLOTTE HWY. INDIAN LAND, SC 29707
3. PROJECT WORKSCOPE:	INSTALLATION OF STEEL FRAMED FACE TO FACE AND MEAL DELIVERY CANOPY (EMPLOYEE SHADE STRUCTURES) WITH MINOR ELECT. / PLUMB. WORK.
4. PARCEL NO.	0005-00-102-06
5. ZONING:	RB (REGIONAL BUSINESS)
6. PROPERTY AREA:	56,542.5 S.F. (1.298 ACRES)
7. FIRE SPRINKLERS:	YES A.F.E.S. (EXISTING BUILDING)
8. TYPE OF CONSTRUCTION:	
a. EXISTING BUILDING:	VB (EXIST. UN-CHANGED)
b. NEW MEAL DELIVERY CANOPY	IIB
c. NEW FACE TO FACE CANOPY	IIB
9. OCCUPANCY:	
a. EXISTING BUILDING:	A-2 (EXIST. UNCHANGED)
b. NEW MEAL DELIVERY CANOPY	A-2
c. NEW FACE TO FACE CANOPY	U (ACCESSORY USE)
10. BUILDING AREA:	
a. EXISTING BUILDING:	53,000 S.F.
b. NEW MEAL DELIVERY CANOPY	4,731 S.F.
c. NEW FACE TO FACE CANOPY	1,386 S.F.
d. TOTAL AREA:	63,622 S.F.
11. ALLOWABLE AREA, PER IBC TABLE 506.2	
a. FIRE SPRINKLERED BUILDING:	24,000 S.F. (EXIST. 1-STORY BLDG)
b. ACTUAL BUILDING AREA:	6,362 S.F.
* NOTE: INCLUDED NEW CANOPIES IN TOTAL AREA IN CALCULATIONS	
12. AREA OF CONSTRUCTION:	1,625 S.F.
13. CANOPY HEIGHT:	
a. MEAL DELIVERY CANOPY:	9'-6" BOTT. OF CANOPY
b. FACE TO FACE CANOPY	9'-6" BOTT. OF CANOPY
14. BUILDING SETBACKS:	
a. NORTH PROP. LINE:	15'-0" (SHIRLEY DR.)
b. WEST PROP. LINE:	55'-0" (CHARLOTTE HWY.)
c. SOUTH PROP. LINE:	15'-0"
d. EAST PROP. LINE:	50'-0"
15. PARKING REQUIREMENTS:	EXISTING TO REMAIN NO CHANGE TO PARKING SPACES OR EXISTING DRIVE THRU LANES.

PROJECT DIRECTORY		
OWNER: CHICK-FIL-A, INC. 5200 BUFFINGTON ROAD ATLANTA, GA 30344 TROY TRIPP, DIRECTOR OF CONST. troutripp@icacorp.com (404) 305-4613	ARCHITECT: esencia LLC 1743 E. MCNAIR DRIVE SUITE 200 TEMPE, AZ, 85283 JEFFREY WINTER, R.A. winter@esencia.org (480) 755-0459 EXT 120	MECH. / PLUMB Interplan LLC 604 COURTLAND STREET SUITE 100 ORLANDO, FL 32804 BARRY MARTIN bmartin@interplanllc.com (407) 645-5008
PROJECT MANAGER: BUREAU VERITAS, LLC 17200 N. PERIMETER DRIVE SUITE 275 SCOTTSDALE, ARIZONA 85255 MICHAEL ANDERSON, CPM (480) 771-1800	STRUCTURAL: LANE SUPPLY INC. 120 FAIRVIEW ST. ARLINGTON, TEXAS 76010 LARRY TOLBERT ltolbert@lanesupplyinc.com (817) 275-1660	MUNICIPALITY: LANCASTER COUNTY PLANNING DEPARTMENT 2016 S. CATAWBA ST. LANCASTER, SC 29720 jfaller@lancastersc.net (803) 283-4253

SITE PLAN KEYED NOTES	
1. DASHED LINE INDICATING OUTLINE OF OVERHEAD MEAL DELIVERY CANOPY.	2. DASHED LINE INDICATING OUTLINE OF OVERHEAD FACE TO FACE CANOPY.
3. EXISTING VEHICLE DRIVE AISLE TO REMAIN.	4. EXISTING PARKING FIELD TO REMAIN, NO CHANGE.
5. EXISTING ORDER POINT MENU BOARD TO REMAIN, NO CHANGE.	6. EXISTING CONCRETE WALKWAY TO REMAIN.
7. EXISTING CONCRETE CURB TO REMAIN, VERIFY EXISTING CONDITION OF CURB, REPLACE ANY DAMAGE OR BROKEN CURB TO LIKE NEW CONDITION.	8. EXISTING CONCRETE ACCESSIBLE CURB, RAMP / MARKED PATHWAY TO REMAIN.
9. EXISTING LANDSCAPING AREA TO REMAIN.	10. LOCATION OF ELECTRICAL AND/OR GAS CONNECTION, CONFIRM UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
11. EXISTING CATCH BASIN GRATE TO REMAIN, VERIFY EXACT LOCATION PRIOR TO START OF CONSTRUCTION.	12. EXISTING GREASE INTERCEPTOR TO REMAIN, VERIFY EXACT LOCATION PRIOR TO START OF CONSTRUCTION.
13. OUTSIDE FACE OF EXIST. BUILDING EXTERIOR WALL.	14. EXISTING TRASH ENCLOSURE TO REMAIN, DO NOT DISTURB.
15. EXISTING ELECTRICAL TRANSFORMER TO REMAIN, DO NOT DISTURB.	16. EXIST. PROPERTY LINE.
17. EXIST. BUILDING SET BACK LINE.	18. DASHED LINE INDICATING EXISTING UNDERGROUND STORM WATER PIPE. G.C. TO FIELD VERIFY EXACT LOCATION PRIOR TO COMMENCING CONSTRUCTION.

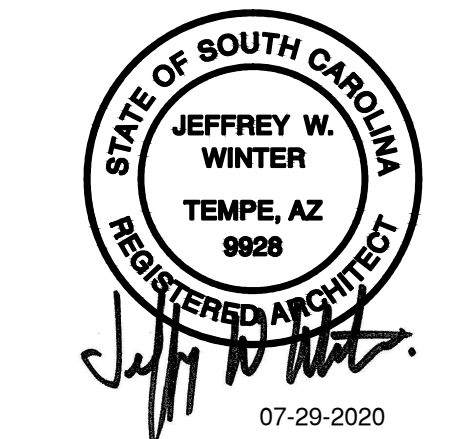
GENERAL NOTES	
A. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.	B. WHERE REQUIRED, G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.
C. ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPORTED TO THE UTILITY COMPANY INVOLVED. G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT CONTRACTORS EXPENSE.	D. UPON INSTALLATION OF FOOTINGS, IT SHALL BE THE G.C. RESPONSIBILITY TO OBTAIN THE SERVICES OF A LAND SURVEYOR TO PROVIDE TOP OF ASPHALT/CONC. DIVE TOPO POINTS TO THE CANOPY FABRICATOR PRIOR TO CANOPY FABRICATION. SAID LAND SURVEYOR SHALL PROVIDE A DRAWING DEPICTING TOPO POINTS, NO EXCEPTIONS TAKEN.
GOVERNING CODES:	
BUILDING:	2018 INTERNATIONAL BUILDING CODE
MECHANICAL:	2018 INTERNATIONAL MECHANICAL CODE
PLUMBING:	2018 INTERNATIONAL PLUMBING CODE
ENERGY:	2009 INTERNATIONAL ENERGY CONSERVATION CODE
ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE
FUEL / GAS:	2018 INTERNATIONAL FUEL GAS CODE
FIRE:	2018 INTERNATIONAL FIRE CODE
ACCESSIBLE:	2011 ICC/ANSI A117.1



Chick-fil-A
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 765-8000

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esencia
1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
Telephone 480-755-0959



Revision Schedule			
Rev	Date	By	Description

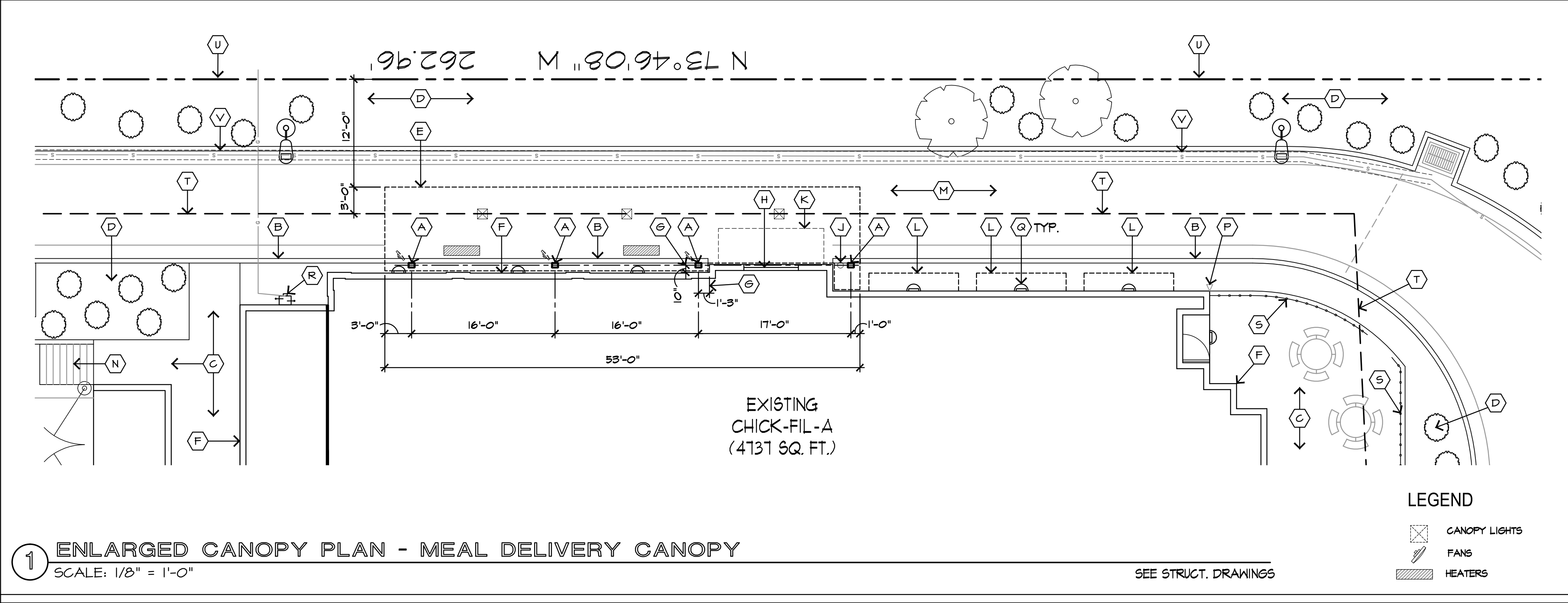


Project Name: **CANOPY PROGRAM**
CHICK-FIL-A
STORE #2797
10032 CHARLOTTE HWY
INDIAN LAND SC 29707

Issue Date: 07-29-2020
Drawn By: SA
Job Number: 19060

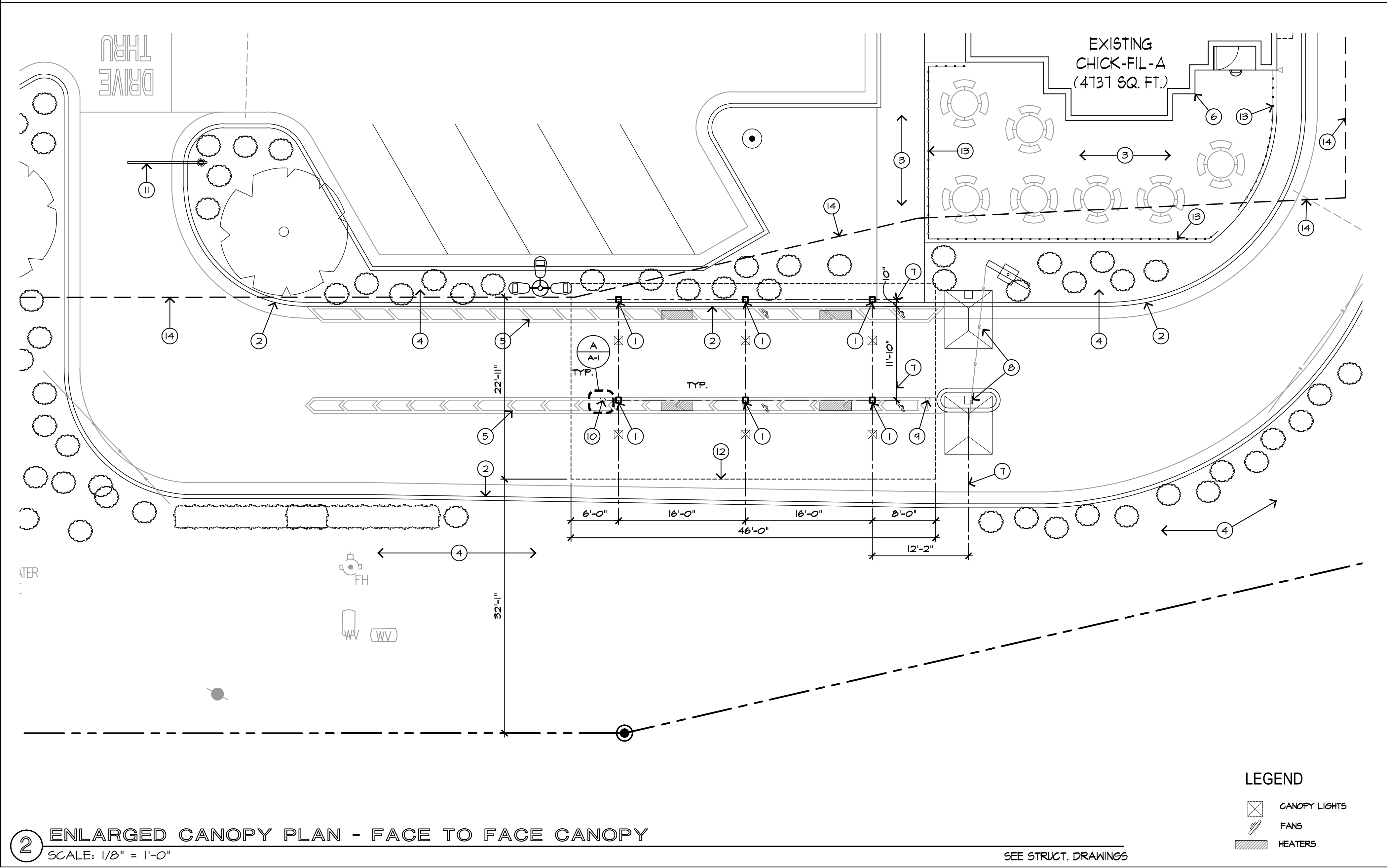
Sheet Title: **Project Data Overall Site Plan**
Scale: As indicated

Sheet Number: **A-1**



1 ENLARGED CANOPY PLAN - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



2 ENLARGED CANOPY PLAN - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

GENERAL NOTES

a. THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FIL-A STANDARD DESIGN GUIDELINES.

b. COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR BUILDING FOUNDATIONS NOR UNDERMINE THE EXISTING EXTERIOR BUILDING STEM WALLS/FOOTINGS.

c. WHERE AN OFFSET CAISSON FOOTING OR SPREAD FOOTING IS REQUIRED, THE G.C. SHALL COORDINATE THE EXISTING FIELD CONDITIONS TO THE CANOPY FABRICATOR FOR APPROVAL PRIOR TO INSTALLATION OF THE FOOTINGS.

d. COLUMNS NEEDING TO BE RELOCATED INTO THE DRIVE LANE OR TEAM WALK WAY, THE G.C. SHALL NOTIFY THE FIELD CONSTRUCTION MANAGER TO GAIN PROPER APPROVAL FROM CHICK-FIL-A PRIOR TO COMMENCEMENT OF SAID CONSTRUCTION WORK.

e. G.C. TO CONFIRM SIZE, DEPTH, AND LOCATION OF ALL UNDERGROUND UTILITIES / STORM WATER PIPING PRIOR TO COMMENCEMENT OF CONSTRUCTION.

f. G.C. SHALL CONFIRM DIMENSIONS OF CURBS AND EXACT LOCATION OF PICK-UP WINDOW PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES - MEAL DELIVERY

A. NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTINGS BELOW. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED OR REPLACED AS REQUIRED PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONC. SURFACES.

B. EXISTING CONCRETE CURB TO REMAIN. SAW CUT AND REMOVE PORTION OF CURB AS REQUIRED FOR INSTALLATION OF NEW FOOTING. UPON FOOTING INSTALLATION G.C. SHALL PATCH AND REPAIR EXIST. CURB AS REQUIRED. PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONC. CURB. G.C. SHALL REPLACE ANY KNOWN CRACKED OR DAMAGED ON SITE CONC. CURBING (TYP.).

C. EXISTING CONCRETE WALKWAY TO REMAIN.

D. EXISTING LANDSCAPING AREA TO REMAIN.

E. DASHED LINE INDICATING OUTLINE OF OVERHEAD CANOPY. REFER TO CANOPY SHOP DRAWINGS WITH-IN THIS SET.

F. FACE OF EXISTING EXTERIOR BUILDING WALL. DO NOT DISTURB.

G. XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.

H. EXISTING MEAL DELIVERY PICK UP WINDOW. DO NOT DISTURB.

J. EXISTING BOLLARD TO BE REMOVED.

K. DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED. GC TO REPAIR EXIST. EXTERIOR WALL AS REQUIRED APPLY TOUCH-UP PAINT FIELD MATCH EXIST. COLOR AND WALL FINISH. PROVIDE FLUSH TRANSITION FOR ALL PATCH WORK.

L. EXISTING AWNING TO REMAIN. NO CHANGE.

M. EXISTING DRIVE THRU LANE TO REMAIN.

N. EXIST. A.D.A. COMPLIANT CONC. CURB RAMP TO REMAIN. DO NOT DISTURB.

P. EXISTING SECURITY CAMERA TO REMAIN (HEIGHT 9'-4").

Q. EXISTING SECURITY LIGHTS TO REMAIN (HEIGHT 11'-4").

R. LOCATION OF EXISTING GAS METER.

S. EXIST. GUARDRAILS TO REMAIN. DO NOT DISTURB.

T. EXISTING BUILDING SETBACK LINE SHOWN FOR REFERENCE. SEE SITE PLAN.

U. EXISTING PROPERTY LINE SHOWN FOR REFERENCE. SEE SITE PLAN.

V. DASHED LINE INDICATING EXISTING UNDERGROUND STORM WATER PIPE. G.C. TO FIELD VERIFY EXACT LOCATION PRIOR TO COMMENCING CONSTRUCTION.

REFERENCE:

SCALE: 1/8" = 1'-0"

0' 4' 8' 16'

NORTH

GENERAL NOTES

a. THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FIL-A STANDARD DESIGN GUIDELINES.

b. COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR BUILDING FOUNDATIONS NOR UNDERMINE THE EXISTING EXTERIOR BUILDING STEM WALLS/FOOTINGS.

c. WHERE AN OFFSET CAISSON FOOTING OR SPREAD FOOTING IS REQUIRED, THE G.C. SHALL COORDINATE THE EXISTING FIELD CONDITIONS TO THE CANOPY FABRICATOR FOR APPROVAL PRIOR TO INSTALLATION OF THE FOOTINGS.

d. COLUMNS NEEDING TO BE RELOCATED INTO THE DRIVE LANE OR TEAM WALK WAY, THE G.C. SHALL NOTIFY THE FIELD CONSTRUCTION MANAGER TO GAIN PROPER APPROVAL FROM CHICK-FIL-A PRIOR TO COMMENCEMENT OF SAID CONSTRUCTION WORK.

e. G.C. TO CONFIRM SIZE, DEPTH, AND LOCATION OF ALL UNDERGROUND UTILITIES / STORM WATER PIPING PRIOR TO COMMENCEMENT OF CONSTRUCTION.

f. G.C. SHALL CONFIRM DIMENSIONS OF CURBS AND EXACT LOCATION OF PICK-UP WINDOW PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES - FACE TO FACE

1. NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTINGS BELOW. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED OR REPLACED AS REQUIRED PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONC. SURFACES.

2. EXISTING CONCRETE CURB TO REMAIN. SAW CUT AND REMOVE PORTION OF CURB AS REQUIRED FOR INSTALLATION OF NEW FOOTING. UPON FOOTING INSTALLATION G.C. SHALL PATCH AND REPAIR EXIST. CURB AS REQUIRED. PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONC. CURB. G.C. SHALL REPLACE ANY KNOWN CRACKED OR DAMAGED ON SITE CONC. CURBING (TYP.).

3. EXISTING CONCRETE WALKWAY TO REMAIN.

4. EXISTING LANDSCAPING AREA TO REMAIN.

5. NEW 24" WIDE TEAM MEMBER DEMARCATION STRIPING. USE TRAFFIC RATED PAINT. MIN. (2) COATS.

6. FACE OF EXISTING EXTERIOR BUILDING WALL - DO NOT DISTURB.

7. XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION OF COLUMN STARTING POINT. NOTIFY CHICK-FIL-A PROJECT TEAM OF ANY DISCREPANCIES IMPACTING OTHER CONSTRUCTION PHASES OR RELATED CONDITIONS.

8. EXISTING DRIVE THRU ORDER POINT MENU BOARD. DO NOT DISTURB.

9. EXISTING BOLLARD TO BE REMOVED. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED MATCH PLANT PALLET, PROVIDE FLUSH TRANSITION BETWEEN ALL EXIST. AND NEW CONC. FINISHES.

10. LOCATION OF NEW BOLLARD. PER CHICK-FIL-A DESIGN STANDARD INSTALL 24" FROM FACE OF CLEARANCE BAR AND/OR LAST CANOPY COLUMN AS SHOWN ON DRAWINGS. REFER TO DETAIL A, ON SHEET A-1.

11. EXISTING CLEARANCE BAR TO REMAIN. DO NOT DISTURB.

12. DASHED LINE INDICATING OUTLINE OF OVERHEAD CANOPY. REFER TO CANOPY DRAWINGS WITH-IN THIS SET.

13. EXIST. GUARDRAILS TO REMAIN. DO NOT DISTURB.

14. EXISTING BUILDING SETBACK LINE SHOWN FOR REFERENCE. SEE SITE PLAN.

REFERENCE:

SCALE: 1/8" = 1'-0"

0' 4' 8' 16'

NORTH



5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 765-8000

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esencia

1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
Telephone 480-755-0959

STATE OF SOUTH CAROLINA
JEFFREY W. WINTER
TEMPE, AZ
9928
REGISTERED ARCHITECT
07-29-2020

Revision Schedule			
Rev	Date	By	Description

Project Name: CANOPY PROGRAM

CHICK-FIL-A

STORE #2797

10032 CHARLOTTE HWY
INDIAN LAND SC 29707

Issue Date: 07-29-2020
Drawn By: SA
Job Number: 19060

Sheet Title: **Enlarged Canopy Plan**
Scale: As indicated

Sheet Number: **A-2**

21

Location Map

Map Date: March 15, 2021

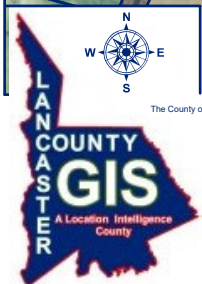
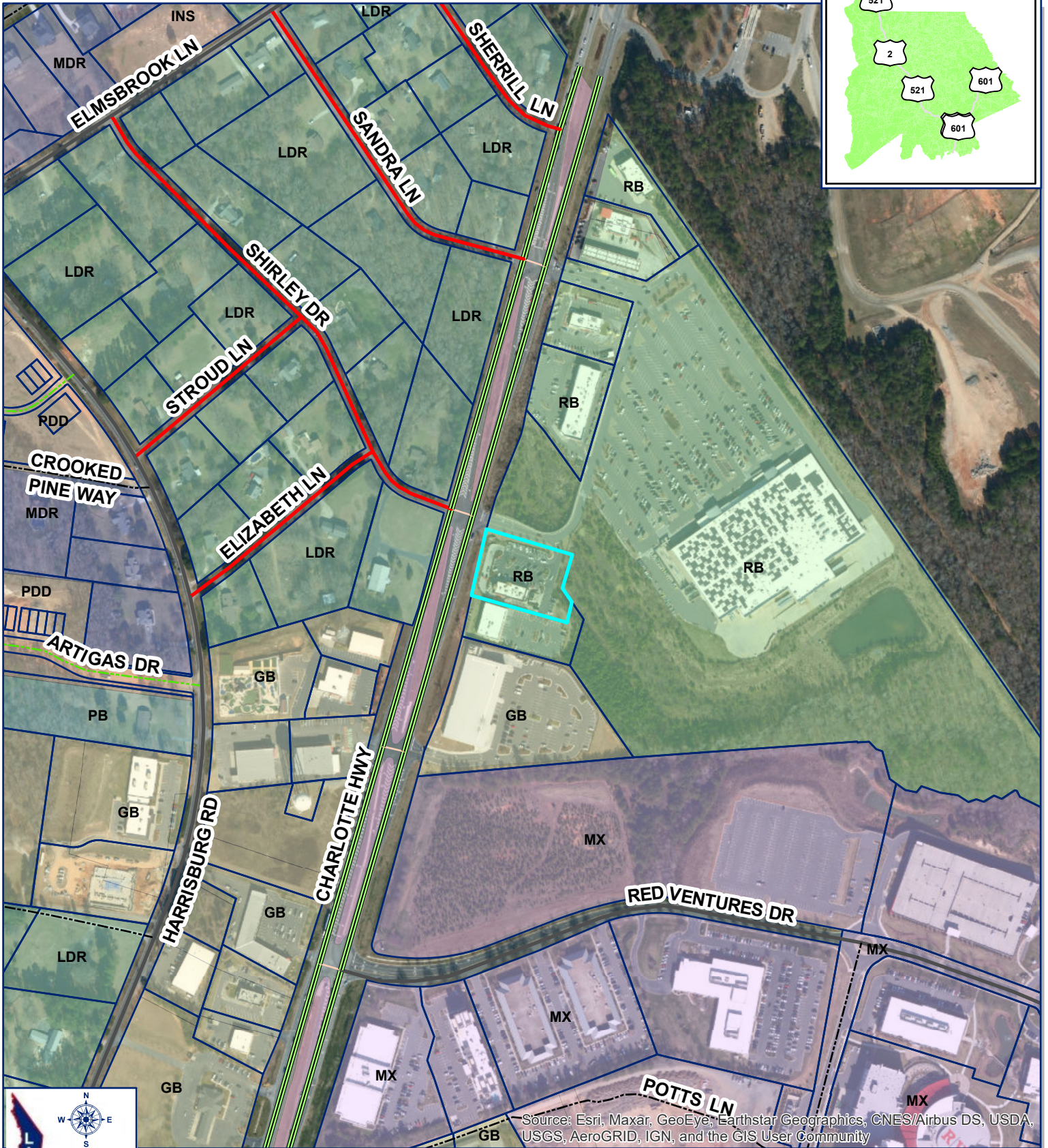
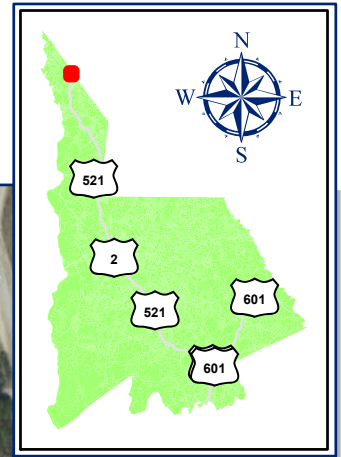
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Case Number: VAR-2021-0490

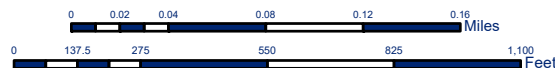
Proposal: Variance from UDO Section 2.4

Tax Map #: 0005-00-102.06

Applicant: Esencia Architecture



The County of Lancaster provides this data for reference only. All data must be field verified before the information is used for design/project work. The County of Lancaster is not responsible or liable for any inaccuracies. Any design using this data is at users' sole risk. Also note that information is subject to change at any time.





qPublic.net™ Lancaster County, SC

Parcel Summary

Parcel ID 0005-00-102.06
Account # 89326
Millage Group 01 - County - County
Land Size 1.298 AC
Location Address 10032 CHARLOTTE HWY
 Indian Land 29707
Zoning RB : Regional Business
Neighborhood 6
Property Use Code Non Qualified Commercial (NCOM)
Plat Book 2010
Plat Page 521
Block#
Lot# 3A

Scanned Property Card

Property Card

Note: Property Cards are current as of 4/1/2020 and are no longer updated

Owner Information

CHICK-FIL-A INC
 5200 BUFFINGTON ROAD
 ATLANTA GA 30349

Land Information

Land Use	Number of Units	Unit Type	Land Type	Frontage	Depth	AgUse Value
Comm (NCOM)	1.30	ACRES	SITE	0	0	\$0

Commercial Building Information

Style Fast Food Restaurant (13-17 VG CLASS C) / 50
Gross Sq Ft 4,621
Finished Sq Ft 4,621
Perimeter 326
Stories 01
Interior Walls
Exterior Walls
Quality C (C)
Roof Type
Roof Material
Exterior Wall1 Brick
Exterior Wall2
Foundation
Interior Finish
Ground Floor Area
Floor Cover
Full Bathrooms 0
Half Bathrooms 0
Heating Type
Year Built 2011
Year Remodeled
Effective Year Built 2011
Condition

Code	Description	Sketch Area	Finished Area	Perimeter
50	ONE STORY	4,621	4,621	326
TOTAL		4,621	4,621	326

Accessory Information

Description	Year Built	Out Building Type	Size	Quantity	Units	Grade
SURFACE PARK	2011	SURFACE PARK (73)	0 x 0	46	1 LEN	

Sales Information

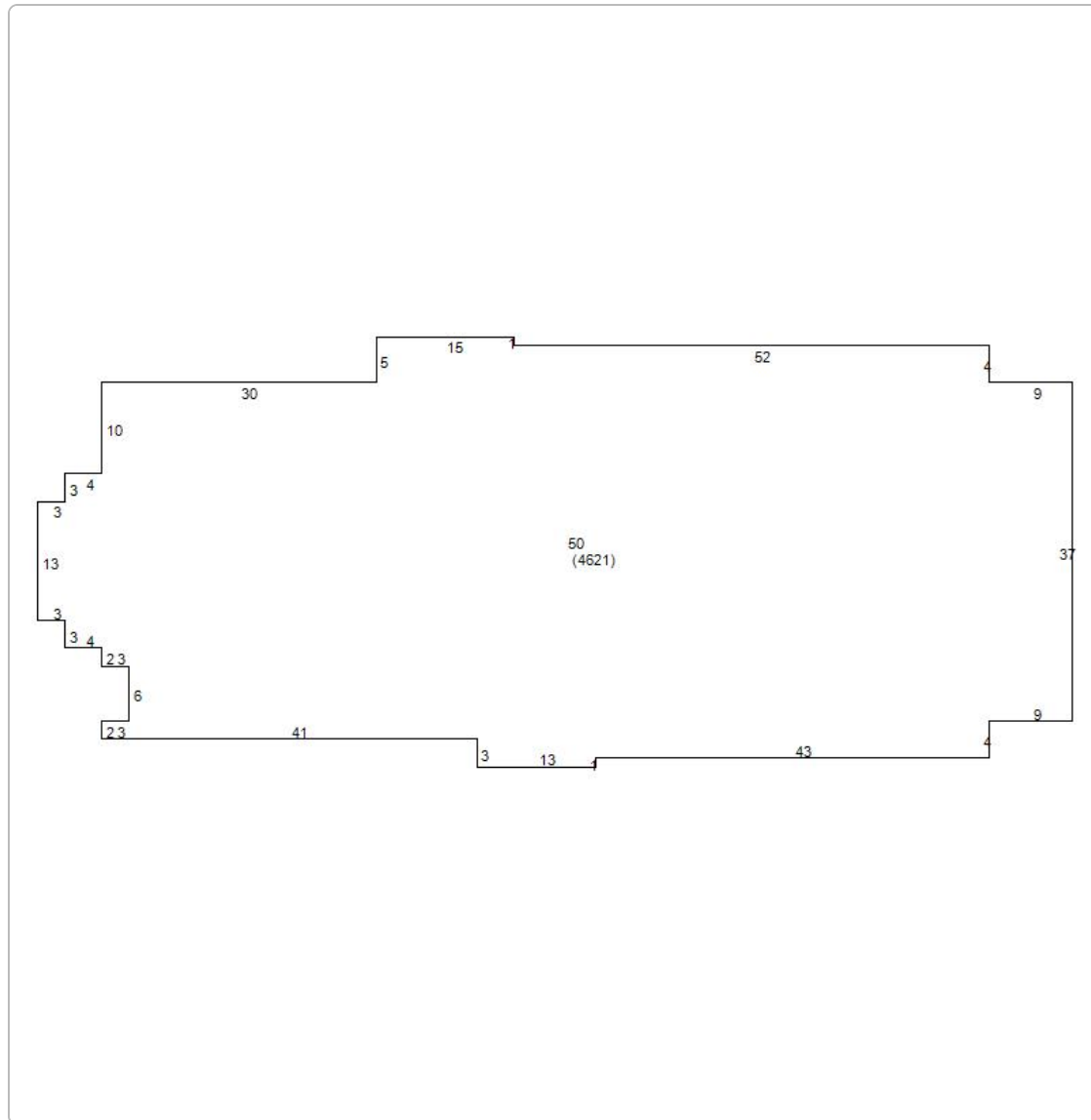
Sale Date	Sale Price	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
11/18/2010	\$1,200,000	DEED	594	342	Unqualified - SOLD DOES NOT MATCH APPRAISAL RECORD	Improved	SIX MILE MEADOW INVESTMENT	CHICK-FIL-A INC
8/1/2001	\$5	DEED	127	108	Qualified	Improved	SIX MILE MEADOW INVESTMENT	SIX MILE MEADOW INVESTMENT

Assessed Values

	2020	2019	2018	2017
Market Land Value	\$1,151,500	\$1,151,500	\$1,151,500	\$1,151,500
+ Market Improvement Value	\$763,300	\$763,300	\$763,300	\$763,300
+ Market Misc Value	\$50,500	\$50,500	\$50,500	\$50,500
= Total Market Value	\$1,965,300	\$1,965,300	\$1,965,300	\$1,965,300
Taxable Land Value	\$1,151,500	\$1,151,500	\$1,151,500	\$1,151,500
+ Taxable Improvement Value	\$763,300	\$763,300	\$763,300	\$763,300
+ Taxable Misc Value	\$50,500	\$50,500	\$50,500	\$50,500
- Ag Credit Value	\$0	\$0	\$0	\$0
= Total Taxable Value	*\$1,965,300	*\$1,965,300	*\$1,965,300	*\$1,965,300
Assessed Land Value	\$69,090	\$69,090	\$69,090	\$69,090
+ Assessed Improvement Value	\$45,798	\$45,798	\$45,798	\$45,798
+ Assessed Misc Value	\$3,030	\$3,030	\$3,030	\$3,030
= Total Assessed Value	\$117,918	\$117,918	\$117,918	\$117,918

*This parcel is subject to the value cap

Sketches



No data available for the following modules: Building Information, Mobile Home Information, Photos.

The data contained on this site is intended for information purposes only. It is based on the best information available at the time of posting and is not warranted. The data may not reflect the most current records.

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Developed by



Version 2.3.112

Cheryl Morgan
Auditor, Lancaster County, SC
Prepared by: Jeanne A. Pearson
P.O. Box 36468
Charlotte, NC 28236

Mail after recording to:
HCTIA
6201 Fairview Road, Suite 225
Charlotte, NC 28210
File # 1006-2191

STATE OF SOUTH CAROLINA)
)
)
)
COUNTY OF LANCASTER)

LIMITED WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that Six Mile Meadow Investment Associates, LLC, a North Carolina limited liability company (hereinafter referred to as "Grantor"), for and in consideration of [See the Affidavit of Value attached hereto] to Grantor in hand paid at and before the sealing of these presents by CHICK-FIL-A, INC., a Georgia corporation (hereinafter referred to as "Grantee"), of 5200 Buffington Road, Atlanta, GA 30349 (the receipt whereof is hereby acknowledged), subject to the matters set forth below, has granted, bargained, sold and released, and by these Presents does grant, bargain, sell and release unto the said Grantee, its Successors and Assigns, all of its right, title and interest in and to the following described property (the "Premises"), to wit:

All that certain parcel of land described on Exhibit A, which is attached hereto and incorporated herein for all purposes.

DERIVATION: Deed from James Franklin Hunter Kennedy dated 8/01/01, recorded 8/02/01 in Book 127, Page 102, Lancaster County Public Registry; Deed from Sarah Christina Kennedy Unger dated 8/01/01, recorded 8/02/01 in Book 127, Page 105, Lancaster County Public Registry; Deed from Bank of America N.A. Trustee of the Frank Hunter Kennedy Trust dated 8/01/01, recorded 8/02/01 in Book 127, Page 108, Lancaster County Public Registry.
Part of Parcel 0005-00-102-03

LANCASTER COUNTY GIS
Tax Map:
0005 00 102 06

1

2010014455
DEED
RECORDING FEES \$14.00
STATE TAX \$3120.00
COUNTY TAX \$1320.00
PRESENTED & RECORDED:
12-29-2010 03:09 PM
JOHN LANE
REGISTER OF DEEDS
LANCASTER COUNTY, SC
By: CANDICE KIRKLEY DEPUTY
BK: DEED 594
PG: 342-349

The within described property is conveyed subject to those easements and exceptions described in Exhibit B, which is attached hereto and incorporated herein for all purposes.

TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular, the said Premises before mentioned, unto the said Grantee, its Successors and Assigns, forever.

AND, Grantor covenants with Grantee that Grantor has done nothing to impair such title as Grantor received and Grantor will warrant and defend the title against the lawful claims of all persons claiming, by, through or under Grantor, but not otherwise except for the exceptions set forth in Exhibit B attached hereto.

IN WITNESS WHEREOF, the said Grantor has caused the within Limited
Warranty Deed to be executed and delivered by and through the duly authorized officer
hereinafter named, on this 18th day of November, 2010.

Signed, sealed and delivered
in the presence of

SIX MILE MEADOW INVESTMENT
ASSOCIATES, LLC, a North Carolina
limited liability company

By: SIX MILE FIELDSTONE, LLC, a
North Carolina limited liability
company, Manager

By: MERRIFIELD PARTNERS, LLC, a
North Carolina limited liability
company, Manager

James M. Cook
Witness #1

Kimberly Blaney
Witness #2

By: James E. Merrifield
Name: James E. Merrifield
Its: Manager

[SEAL]

STATE OF North Carolina

COUNTY OF Mecklenburg

The foregoing instrument was acknowledged before me this 18th day of
November, 2010 by James E. Merrifield, as Manager of
MERRIFIELD PARTNERS, LLC, a North Carolina limited liability company, Manager
of SIX MILE FIELDSTONE, LLC, a North Carolina limited liability company, Manager
of SIX MILE MEADOW INVESTMENT ASSOCIATES, LLC, a North Carolina limited
liability company, on behalf of the limited liability company.

Betty J. Burkhardt
Notary Public for Mecklenburg County, NC
My commission expires: October 25, 2014

[NOTARIAL SEAL]

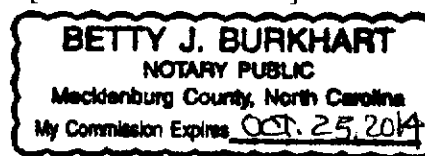


EXHIBIT A

To Special Warranty Deed

From

SIX MILE MEADOW INVESTMENT ASSOCIATES, LLC

To

CHICK-FIL-A, INC.

All that certain tract, piece or parcel of land lying and being in Indian Land Township, Lancaster County, State of South Carolina, being approximately 1.298 acres, more or less, designated as "Lot 3A" on plat prepared by Yarbrough-Williams & Houle, Inc., entitled, "Lot 3 Subdivision - Six Mile Meadow", dated September 13, 2010, and recorded on November 15, 2010 in Plat Book 2010, Page 521, in the Office of the Lancaster County Register of Deeds (the "Plat"), as shown on the Plat, reference to which is hereby made for a more full and complete description.

EXHIBIT B
To Special Warranty Deed
From
SIX MILE MEADOW INVESTMENT ASSOCIATES, LLC
To
CHICK-FIL-A, INC.

1. Title to the Premises is conveyed subject to the following restrictions and exceptions:
 - a. Easements with Covenants & Restrictions Affecting Land ("ECR"), dated June 4, 2007, between Wal-Mart Stores East, LP and Six Mile Meadow Investments Associates, LLC, which is recorded in Book 403, Page 310-327, as amended by the ECR Amendment ("ECR Amendment") recorded in Book 554, Page 94, in the Office of the Lancaster County Register of Deeds. Grantee's use shall be subject to all additional conditions and restrictions contained in the ECR and ECR Amendment.
 - b. The use of the Premises shall be lawful and shall not violate the use provisions set forth in the ECR and ECR Amendment.
 - c. Declaration of Covenants, Conditions, Restrictions and Easements recorded of event date herewith in Book ____, Page ____, in the Office of the Lancaster County Register of Deeds.
 - d. Covenant Not to Compete recorded in Book 573, Page 140, in the Office of the Lancaster County Register of Deeds, as amended by First Amendment to Covenant Not to Compete, recorded in Book 579, Page 92, in the Office of the Lancaster County Register of Deeds.

Grantee, by acceptance of delivery of this Deed, does hereby agree to be bound by such restrictions, which shall run with the land and inure to the benefit of Grantor, its successors and assigns for so long as such restrictions shall remain in full force and effect.

2. Title to the Premises is conveyed subject to the following exceptions:
 - a. All matters shown on the Plat;
 - b. The lien of ad valorem taxes for 2011 and subsequent years, not yet due and payable;
 - c. The following matters shown on survey prepared by Michael S. Perdue, last revised July 9, 2010 (the "Survey"):

- i. Setback lines of 15 feet and 75 feet;
 - ii. Six-foot chain link fence;
 - iii. 24-foot cross access easement;
 - iv. 8-inch PVC sanitary sewer line and a portion of a manhole;
 - v. 20-foot drainage easement;
 - vi. 15-inch RCP and drop inlet;
 - vii. 12-inch water lines and water valves;
 - viii. Overhead power line(s), power pole and guy line; and
 - ix. 18-inch RCP and a portion of a storm water detention pond along the westerly property line.
- d. Easement to Duke Power Company recorded in Book G3, Page 589, in the Office of the Lancaster County Register of Deeds;
- e. Pipeline Easements in favor of Lancaster County Water and Sewer District as recorded in Book 530, Page 155; and Book 568, Page 228, re-filed in Book 569, Page 244 Lancaster County Register of Deeds;
- f. Easements, Setback Lines and any other facts shown on that Plat in Book 2010, Pages 298 and 396, Lancaster County Register of Deeds;
- g. Terms and conditions of Memorandum of Lease by and between Six Mile Meadow Investment Associates, LLC, Lessor, and McDonald's USA, LLC, Lessee, recorded in Book 573, Page 136, as affected by Assignment and Assumption of Lease by Six Mile Meadow Investment Associates, LLC, Assignor, and Soumaya Nassif Rizk, Antoine Nassif Rizk and Elie Nassif Rizk, Assignee, recorded in Book 2281, Page 296, Lancaster County Register of Deeds;
- h. Access and Maintenance Easement Agreement recorded of even date herewith in Book ____, Page ____, in the Office of the Lancaster County Register of Deeds.

STATE OF SOUTH CAROLINA)
COUNTY OF LANCASTER)

AFFIDAVIT

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this affidavit and I understand such information.
2. The property being transferred is 1.298 acres on U.S. Highway 521, in Lancaster County, South Carolina, bearing Lancaster County Tax Map Number portion of 0005-00-102-03 and was transferred by Six Mile Meadow Investment Associates, LLC to CHICK-FIL-A, INC. on November 23, 2010.
3. Check one of the following: The deed is
 - (a) X subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as a distribution to a trust beneficiary.
 - (c) exempt from the deed recording fee because (See Information Section of affidavit): (If exempt, please skip items 4-7, and go to item 8 of this affidavit.)

If exempt under exemption #14 as described in the Information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty? Check Yes or No

4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See Information section of this affidavit):
 - (a) X The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$1,200,000.00 .
 - (b) The fee is computed on the fair market value of the realty which is .
 - (c) The fee is computed on the fair market value of the realty as established for property tax purposes which is .
5. Check Yes or No X to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the

transfer. If "Yes," the amount of the outstanding balance of this lien or encumbrance is:
_____.

6. The deed recording fee is computed as follows:

- (a) Place the amount listed in item 4 above here: \$ 1,200,000.00
- (b) Place the amount listed in item 5 above here: -0-
(If no amount is listed, place zero here.)
- (c) Subtract Line 6(b) from Line 6(a) and place
result here: \$ 1,200,000.00

7. The deed recording fee due is based on the amount listed on Line 6(c) above and the deed recording fee due is: \$4,440.00.

8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as: Manager of Merrifield Partners, LLC, Manager of Six Mile Fieldstone, LLC, Manager of Six Mile Meadow Investment Associates, LLC

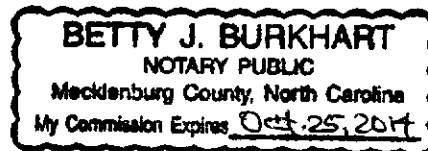
9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.

James E. Merrifield
Responsible Person Connected with the Transaction

SWORN to before me this 18th
day of November, 2010.

James E. Merrifield
Print or Type Name Here

Betty J. Burkhardt
Notary Public for North Carolina
My Commission Expires: October 25, 2014



INFORMATION

Except as provided in this paragraph, the term "value" means "the consideration paid or to be paid in money or money's worth for the realty." Consideration paid or to be paid in money's worth includes, but is not limited to, other realty, personal property, stocks, bonds, partnership interest and other intangible property, the forgiveness or cancellation of a debt, the assumption of a debt, and the surrendering of any right. The fair market value of the consideration must be used in calculating the consideration paid in money's worth. Taxpayers may elect to use the fair market value of the realty being transferred in determining fair market value of the consideration. In the case of realty transferred between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, and in the case of realty transferred to a trust or as a distribution to a trust beneficiary, "value" means the realty's fair market value. A deduction from value is allowed for the amount of any lien or distribution to a trust beneficiary, "value" means the realty's fair market value. A deduction from value is allowed for the amount of any lien or encumbrance existing on the land, tenement, or realty before the transfer and remaining on the land, tenement, or realty after the transfer. Taxpayers may elect to use the fair market value for property tax purposes in determining fair market value under the provisions of the law.

STANDARD	Low Density Residential (LDR)	Medium Density Residential (MDR)	Professional Business (PB)	Neighborhood Business (NB)	General Business (GB)	Regional Business (RB)
1. DEVELOPMENT STANDARDS						
A. District/Development Area (min)	n/a	n/a	n/a	n/a	n/a	n/a
B. Development/District Exterior Setback/Buffer	n/a	n/a	n/a	n/a	n/a	n/a
C. Density (max)	1.5 unit/acre	2.5 units/acre	n/a	n/a	n/a	n/a
D. Open Space (min)	10%	20%	n/a	n/a	n/a	n/a
E. Park Space (min)	5%	5%	n/a	n/a	n/a	n/a
2. LOT STANDARDS						
A. Lot Area (min)	29,040 sf	10,000 sf	5,000 sf	n/a	n/a	n/a
B. Lot Width at Front Setback (min)	90 ft Water/Sewer OR 130 ft Septic See Below (5)	70 ft Water/Sewer OR 130 ft Septic See Below (5)	100 ft	100 ft	100 ft	100 ft
C. Pervious Surface (min)	45%	45%	24%	24%	24%	24%
3. PRINCIPAL BUILDING						
A. Principal Front Setback (min)	40 ft	30 ft	10 ft	25 ft	50 ft	50 ft
B. Street Side/Secondary Front Setback (min)	20 ft	15 ft	10 ft	10 ft	15 ft	15 ft
C. Side (from adjacent lot) Setback (min)	20 ft	10 ft	10 ft	10 ft	15 ft	15 ft
D. Rear Setback (min)	25 ft	25 ft	10 ft	10 ft	15 ft	15 ft
E. Other Standards	n/a	n/a	See Below (4)	See Below (4)	See Below (4)	See Below (4)
4. ACCESSORY STRUCTURE						
A. Side Setback	5 ft	5 ft	40 ft	40 ft	50 ft	50 ft
B. Rear Setback	5 ft	5 ft	30 ft	30 ft	30 ft	30 ft
C. Other Standards	See Below (1,3)	See Below (1, 2)	See Below (1, 2)	See Below (1,2)	See Below (1, 2)	See Below (1, 2)
5. PARKING CONFIGURATION						
A. Parking Location per Section 7.2.3	See Chart 7.2	See Chart 7.2		Per building type	Per building type	Per building type
B. Parking in Exterior Setback/Buffer	n/a	n/a	n/a	n/a	n/a	n/a
6. BUILDING HEIGHT						
A. Principal Building (max)	35 ft	35 ft	35 ft	35 ft or 3 stories (whichever is greater)	35 ft or 3 stories (whichever is greater)	50 ft
B. Accessory Structure (max)	2 stories	2 stories	35 ft	35 ft	35 ft	35 ft
C. Additional Height Permitted with Additional Setback	n/a	n/a	n/a	n/a	1 ft additional height permitted with each 2 ft horizontal setback	1 ft additional height permitted with each 2 ft horizontal setback

1. Accessory structures over 600 sf must comply with principal setback requirement.
2. No accessory structures may be located on corner lots between the street and wall line of the principal structure.
3. No accessory structures may be located on corner lots between the street and wall line of the principal structure, unless front setback requirements are provided on both streets.
4. For any nonresidential structure which is located immediately adjacent to a single family residential use or district, the lot boundary line minimum distance shall be determined as follows: For every foot building height, the developer shall provide setbacks equal to the height of the building. At no time shall the setback be less than what is indicated in the above table.
5. Any development/subdivision connected to both public water and sewer shall utilize the alternate dimensional standards given in the table.