

Planning Commission Members

District 1: Rosa Sansbury
District 2: Tamecca Neely
District 3: Charles Deese, Chair
District 4: James Barnett, Vice-Chair
District 5: Matthew Jones
District 6: Sheila Hinson
District 7: Ben Levine

**County Attorney**

John K. DuBose III

Clerk to Planning Commission

Jennifer Bryan

Development Services Director

Rox Burhans

May 6, 2021

5:00 PM

**101 North Main Street
Lancaster, SC 29720**

**LANCASTER COUNTY PLANNING COMMISSION
County Council Chambers, County Administration
Building, 101 North Main Street, Lancaster, SC 29720**

WORKSHOP AGENDA

1. Call to Order Regular Meeting and Roll Call Vote

2. New Business

a. RZ-2020-2973 Pedcor Investments

Application by Pedcor Investments, LLC to rezone a 33.10 acre parcel located at 9425 Charlotte Highway (TM# 0008-00-077.00) from General Business (GB) to Mixed Use (MX) District to develop a 216-unit workforce housing apartment development. This application is associated with the companion Master Development Plan MXU-2020-2973 and Development Agreement DA-2020-2973.

b. MX-2020-2973 Pedcor Investments

Application by Pedcor Investments, LLC to approve a Master Development Plan and Preliminary Plat for a proposed 216-unit workforce housing apartment development, currently known as Hawthorn Apartments, located on approximately 33.10 acres of land at 9425 Charlotte Highway (TM #'s 0008-00-077.00). This application is associated with the companion Zoning Map Amendment RZ-2020-2973 and Development Agreement DA-2020-2973.

c. DA-2020-2973 Pedcor Investments

Application by Pedcor Investments, LLC to approve a Development Agreement with Lancaster County in accordance with Unified Development Ordinance Section 9.2.18 for a proposed 216-unit apartment development located on approximately 33.10 acres of land at 9425 Charlotte Highway (TM #'s 0008-00-077.00). This application is associated with the companion Zoning Map Amendment RZ-2020-2973 and Master Development Plan MXU-2020-2973.

d. RZ-2020-3013 Trinity Baptist Church

Application by Trinity Baptist Church to rezone approximately one acre of property (TM # 0025-00-034.13) located on the east side of Steel Hill Road, adjacent to Trinity Baptist Church at 1519 Steel Hill Road. The request is to rezone from Rural Neighborhood (RN) to Institutional (INS) within Lancaster County. This is a companion case to RZ-2020-3001 within the Town of Van Wyck.

e. RZ-2021-0650, Evans Road

Application by Fred and Suzanne Mangano to rezone a 1.203-acre portion of a parcel located on Evans Road (TM# 0087-00-095.08) from Low Density Residential (LDR) District to Manufactured Home (MH) District.

f. RZ-2021-0747 1415, LLC

Application by 1415 LLC to rezone approximately 5.3 acres of property (TM # 0008-00-026.03) located on the north side of Edgewater Corporate Parkway. The request is to rezone from Mixed Use (MX) to Regional Business (RB).

g. CU-2021-0538 Jannat Nabiev

Application by Jannat Nabiev for a conditional use permit to allow Vehicle Rental, Leasing and Sales as well as Major Maintenance and Repair at 1449 Memorial Park Road (0082N-0B-011.00).

h. SD-2020-2054 Provident Bayard, LLC

Application by Provident Bayard, LLC for a major preliminary plat consisting of 325 single-family detached lots as well as an Institutional Zoning District parcel (to be dedicated to Lancaster County) approximately two acres in size located at the intersection Henry Harris & Shelley Mullis Roads (TM #s 0013-00-055.06, 0013-00-055.00, 0013-00-055.01, 0013-00-056.01, 0013-00-055.02, 0013-00-055.05). The project area is approximately 169.07 acres in size and is zoned Medium Density Residential (MDR) with the Cluster Subdivision Overlay. The project is referred to as Wilson Creek.

i. SD-2020-1750 Carolina Ventures 1, LLC

Application by Carolina Ventures 1 LLC (Robert Turi) for a major preliminary plat consisting of 281 single-family detached lots located at the southeastern intersection of Van Wyck and Griffin Roads (TM #s 0019-00-027.01, 0019-00-027.02, 0019-00-029.00, 0019-00-035.00, 0019-00-025.00). The project is approximately 152.40 acres in size and is zoned Medium Density Residential (MDR).

j. UDO-TA-2021-0704, Restaurant Parking

Application by Lancaster County to amend Unified Development Ordinance Section 7.2.4, Off-Street Parking and Loading Requirements, to modify minimum required parking spaces.

k. Overview of next month's Agenda

l. Other

i. Board Member of the Year

Board Member of the Year Nomination Form

ii. Lancaster County School District Impact Fee Study

The Lancaster County School District retained TischlerBise to prepare a Capital Improvement Plan and Development Impact Fee Study.

iii. Current Cases Map Overview

3. Adjourn

Agenda Item Summary

Ordinance # / Resolution #: RZ-2020-2973 Pedcor Investments

Contact Person / Sponsor: Katie See/Senior Planner

Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
Location Map	5/3/2021	Exhibit



Agenda Item Summary

Ordinance # / Resolution #: MX-2020-2973 Pedcor Investments

Contact Person / Sponsor: Katie See/Senior Planner

Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider:

Agenda Item Summary

Ordinance # / Resolution #: DA-2020-2973 Pedcor Investments

Contact Person / Sponsor: Katie See/Senior Planner

Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider:

Agenda Item Summary

Ordinance # / Resolution #: RZ-2020-3013 Trinity Baptist Church

Contact Person / Sponsor: Katie See/Senior Planner

Department: Planning

Date Requested to be on Agenda: 5/6/2021

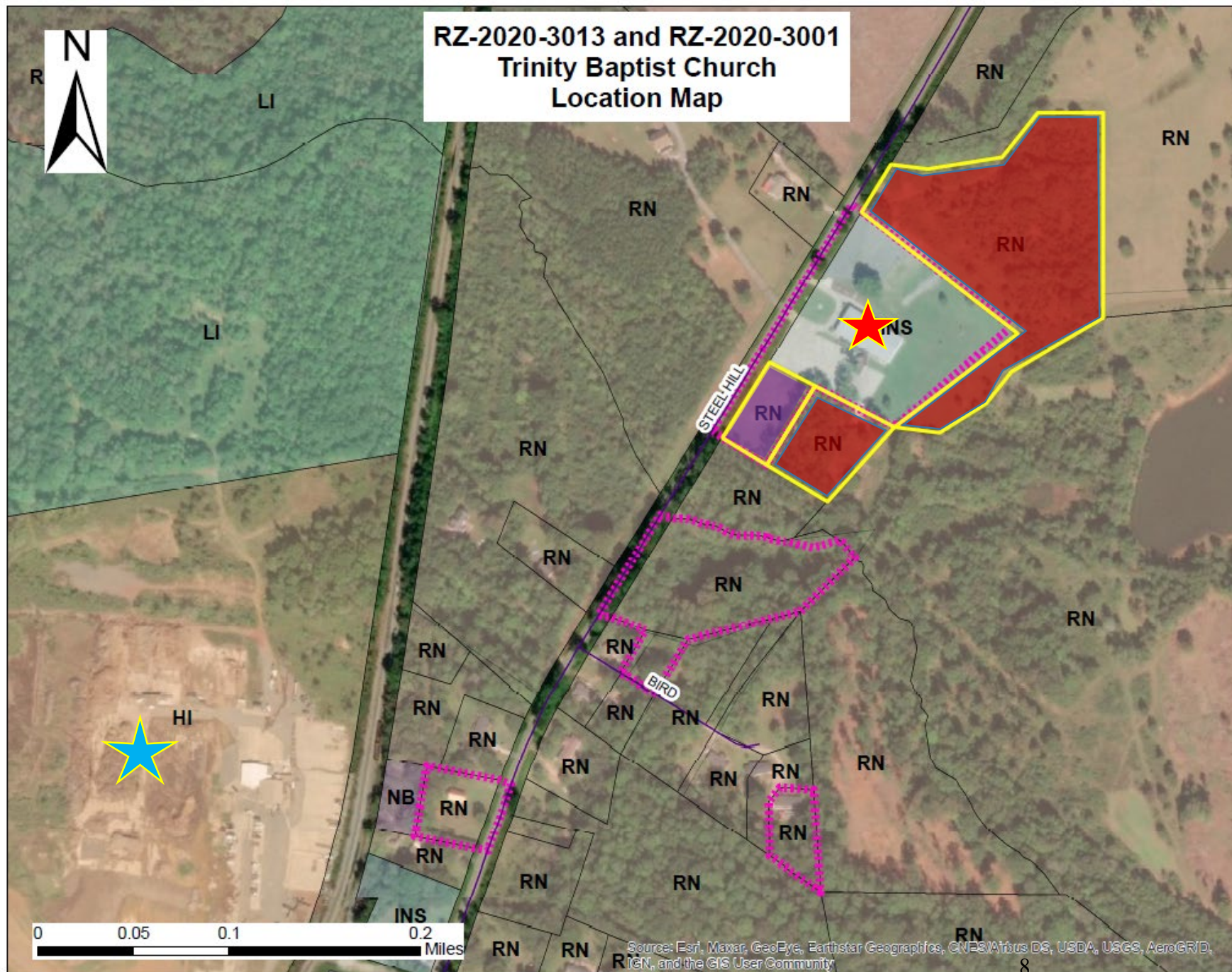
Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
Trinity Location Map	5/3/2021	Exhibit

Legend:

-  Subject Properties
-  RZ-2020-3013:
County Jurisdiction
-  RZ-2020-3001:
Van Wyck
Jurisdiction
-  Parcels NOT incorporated
into Van Wyck
-  Trinity Baptist Church
-  Van Wyck Brickyard



Agenda Item Summary

Ordinance # / Resolution #: RZ-2021-0650, Evans Road

Contact Person / Sponsor: Robert Tefft, Senior Planner

Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
Staff Report	5/3/2021	Planning Staff Report
Location Map	5/3/2021	Exhibit

PROPOSAL: Request to rezone a 1.203-acre portion of property from Low Density Residential (LDR) District to Manufactured Home (MH) District.

PROPERTY LOCATION: West side of Evans Road, approximately 1,800 feet north of Crenson Drive (TM# 0087-00-095.08)

CURRENT ZONING DISTRICT: Low Density Residential (LDR) District

PROPOSED ZONING DISTRICT: Manufactured Home (MH) District

APPLICANT: Suzanne and Fred Mangano

COUNCIL DISTRICT: District 5, Steve Harper

ATTACHMENTS:

1. Location Map/ Zoning Map

STAFF CONTACT:

Robert Tefft, Senior Planner
rtefft@lancastersc.net | 803-416-9394



RZ-2021-0650, Evans Road
Location Map

Legend:



Subject Property



RZ-2021-0650



Beacon Baptist Church



Citgo

Agenda Item Summary

Ordinance # / Resolution #: RZ-2021-0747

Contact Person / Sponsor: Ashley Davis /Planning

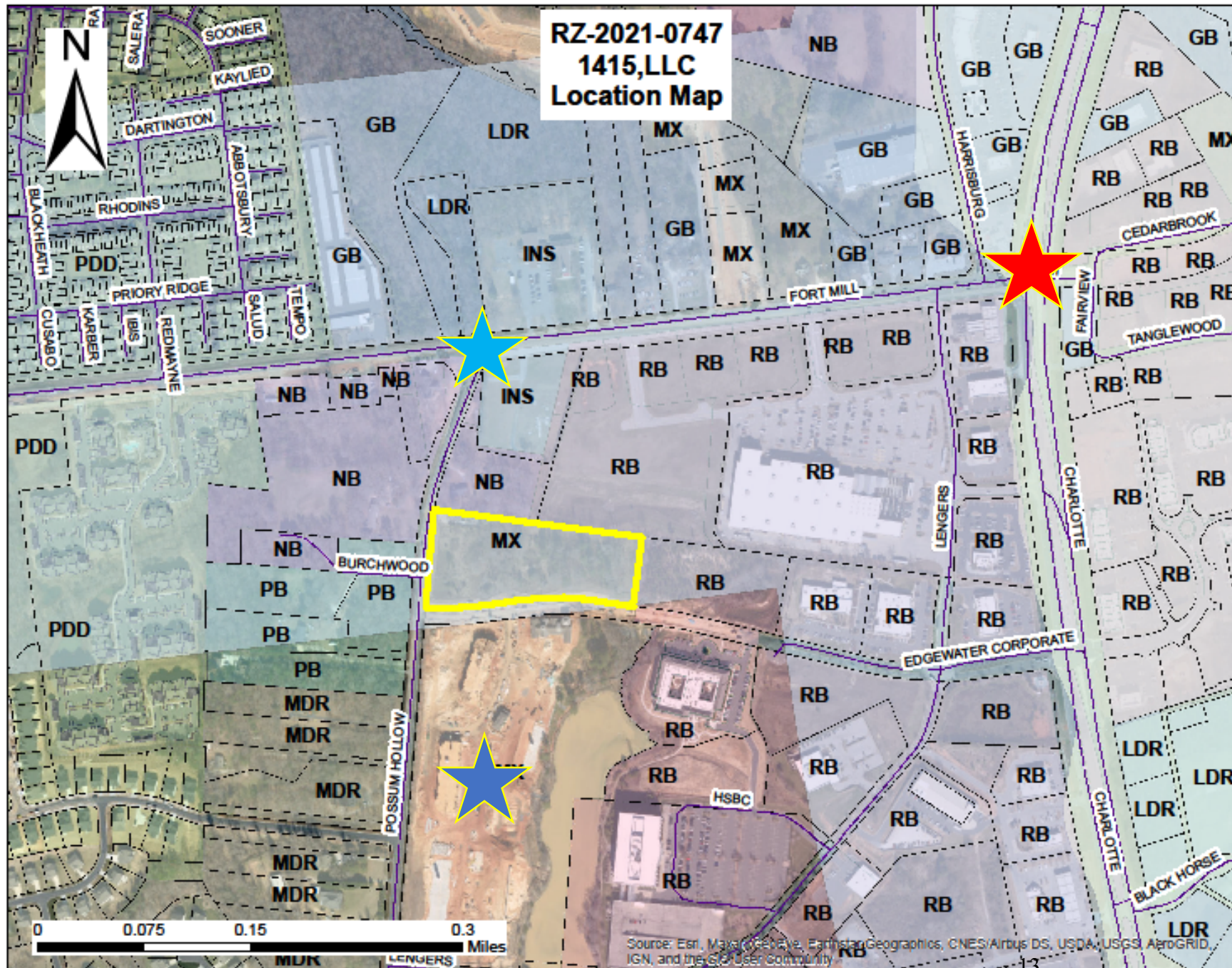
Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
Exhibit 2: Zoning Map	5/4/2021	Exhibit



Proposal:

Rezone property from
MX to RB and amend the
Preliminary Plat for Edgewater
Corporate Park.

Legend:



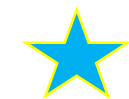
Subject Property



The Flats (Apartment
Complex)



Intersection of Hwy
521 and Hwy 160.



Intersection of Possum
Hollow Road and Hwy
160

Agenda Item Summary

Ordinance # / Resolution #: CU-2021-0538

Contact Person / Sponsor: Ashley Davis /Planning

Department: Planning

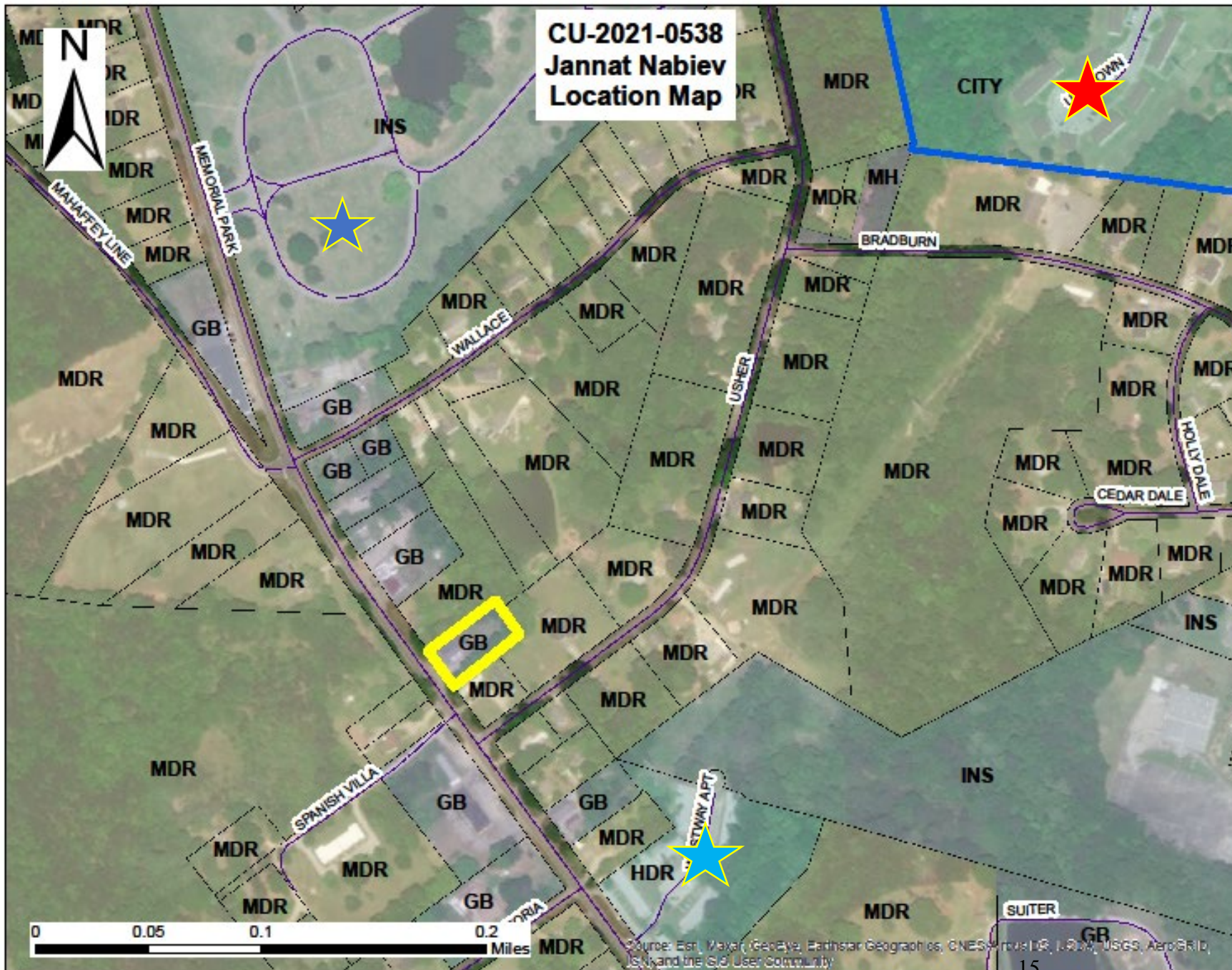
Date Requested to be on Agenda: 5/6/2021

Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
Exhibit 2: Zoning Map	5/4/2021	Exhibit
Exhibit 3: Proposed Site Plan	5/4/2021	Exhibit

CU-2021-0538
Jannat Nabiev
Location Map



Proposal:

Conditional use application to allow Vehicle Rental, Leasing and Sales as well as Major Maintenance and Repair.

Legend:



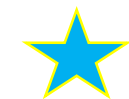
Subject Property



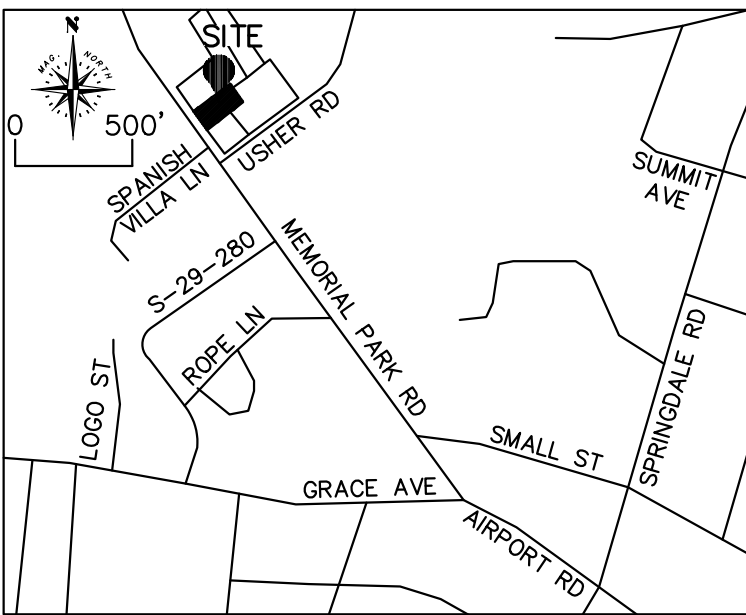
Lancaster Memorial Park



City Of Lancaster



Westway Apartments



PROJECT NAME	SAM AND SON
PROPERTY LOCATION	1449 MEMORIAL PARK RD
PARCEL NUMBER	0082N-0B-011.00
ZONING DISTRICT	GB
OVERLAY DISTRICT	MCWHIRTER FIELD AVIATION OVERLAY
APPLICANT NAME	SALVAR G NABIEVA 13214 MALLARD LANDING RD CHARLOTTE, NC 28278
PROPERTY OWNER	SALVAR G NABIEVA 13214 MALLARD LANDING RD CHARLOTTE, NC 28278
DESCRIPTION OF USE	AUTO REPAIR (PAINT BOOTH)
SITE AREA	0.45 AC
AREA IN R/W	0.00 AC
EXISTING BUILDINGS	2,098 SF
PROPOSED BUILDING AREA	364 SF
BUILDING CONSTRUCTION TYPE	PRE FAB METAL BUILDING
PRINCIPAL FRONT SETBACK	50'
STREET SIDE/SECONDARY FRONT	15'
SIDE SETBACK	15'
REAR SETBACK	15'
BUILDING HEIGHT	9'
PARKING REQUIRED	2 SPACES PER REPAIR BAY 3 REPAIR BAYS = 6 SPACES 7 STANDARD SPACES
PARKING PROVIDED	1 HC SPACE
TOTAL DISTURBED ACREAGE	0.43 ACRES
EX. IMPERVIOUS TO BE REMOVED	0.05 AC
EXISTING IMPERVIOUS TO REMAIN	0.05 AC
PROPOSED IMPERVIOUS	0.20 AC
% IMPERVIOUS	0.20 AC / 0.45 AC = 44%
OPEN SPACE	0.25 AC / 0.45 AC = 56%
FEMA MAP PANEL	45057C0233D- 6/16/2011
MCWHIRTER OVERLAY HEIGHT RESTRICTION ZONE	ZONE F

SCDHEC Professional Certification

I have placed my signature and seal on the design documents submitted signifying that I accept responsibility for the design of the system. Further, I certify to the best of my knowledge and belief that the design is consistent with the requirements of Title 48, Chapter 14 of the Code of Laws of SC, 1976 as amended, pursuant to Regulation 72-300 et seq. (if applicable), and in accordance with the terms and conditions of SCD100000.

Donna H. Hagins 03/04/21
DONNA HARPER HAGINS, PE SCD3920

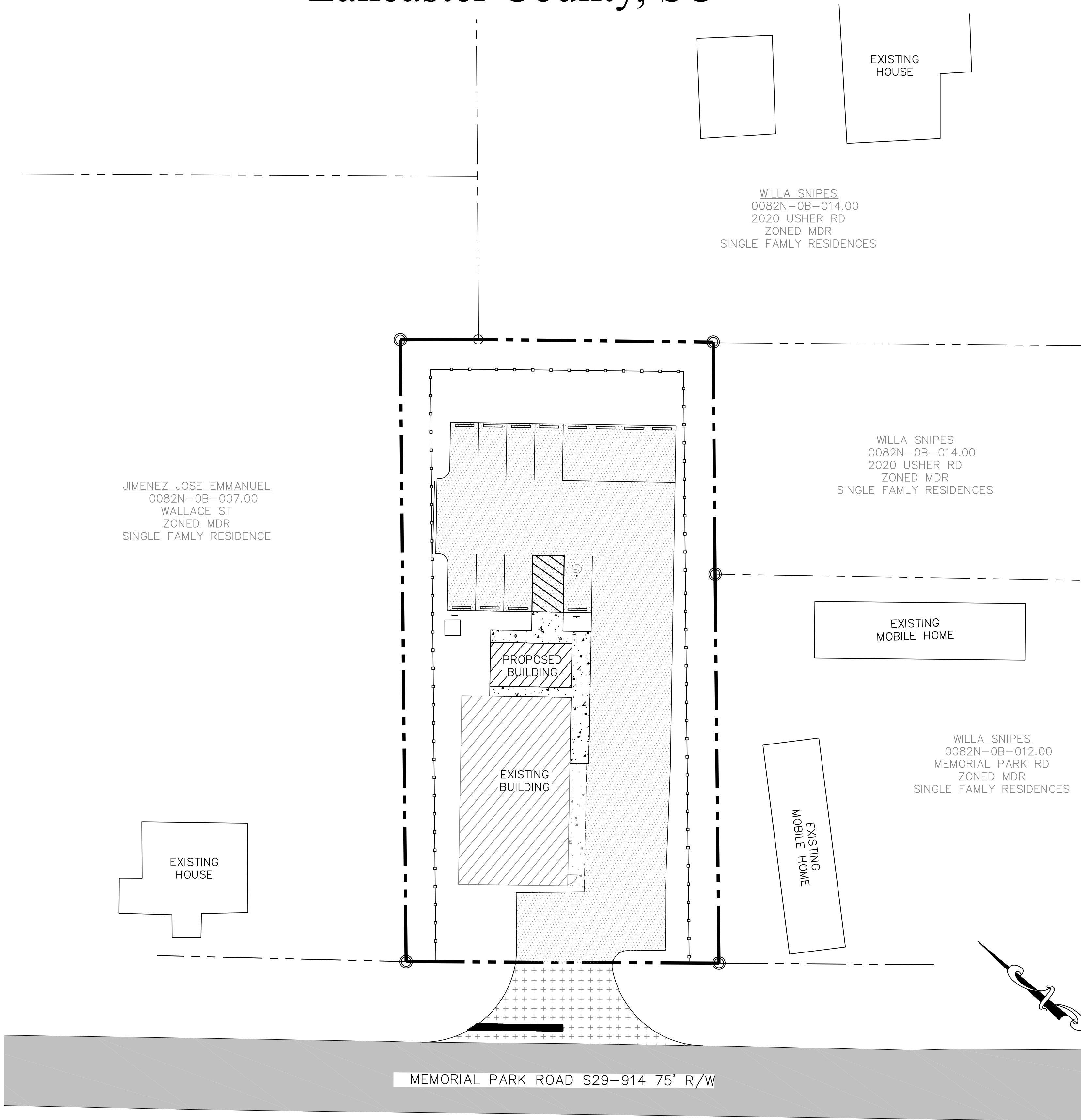
FLOOD CERTIFICATION:

I CERTIFY THAT I HAVE CONSULTED THE FEMA FLOOD INSURANCE MAP FOR LANCASTER COUNTY, SOUTH CAROLINA MAP NUMBER 45057C0233D DATED JUNE 16, 2011 AND TO THE BEST OF MY KNOWLEDGE THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD ZONE.

Donna H. Hagins 03/04/21
DONNA H. HAGINS DATE

INDEX OF SHEETS	
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS PLAN
C3.0	SITE PLAN
C4.0	GRADING AND EROSION CONTROL PLAN
C5.0	SCDOT SHEET
C6.0	DETAIL SHEET 1
C7.0	DETAIL SHEET 2

Sam And Son Auto Repair Lancaster County, SC



LOCAL UTILITY SERVICES

(PUPS) PALMETTO UTILITY PROTECTION SERVICE
HTTP://SC811.COM/
DIAL 811 OR (888) 721-7877

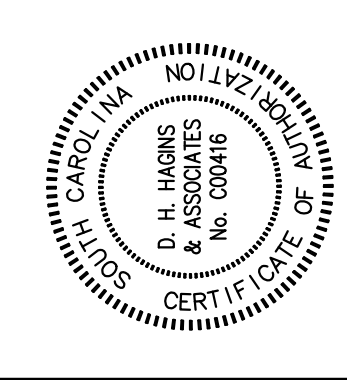
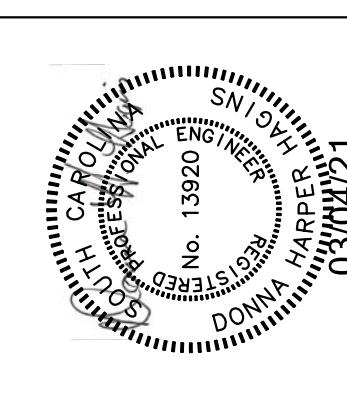
LANCASTER COUNTY NATURAL GAS AUTHORITY
1010 KERSHAW CAMDEN HWY
LANCASTER SC 29720
TEL. 803 285-2045

LANCASTER COUNTY WATER & SEWER DISTRICT
1403 KERSHAW CAMDEN HWY
LANCASTER SC 29720
TEL. 803 285-6919

DUKE POWER COMPANY
WWW.DUKEPOWER.COM
TEL. 803 283-4171
BUSINESS AND INDUSTRY CUSTOMER SERVICE
TEL. 800 653-5307

COMPORIUM COMMUNICATIONS
703 NORTH WHITE STREET
BUSINESS PRODUCTS AND SERVICES
LANCASTER SC 29720
TEL 803 286-9000

D H Hagins & Associates, LLC
Civil Consulting Engineers
2583 Kershaw Camden Hwy, Lancaster, SC 29720
Phone: (803) 286-4472



SAM AND SON AUTO REPAIR
LANCASTER COUNTY SC

COVER SHEET

DATE: 03/03/21

SCALE: 1" = 20'

JOB NO. 534.001

SHEET: C1

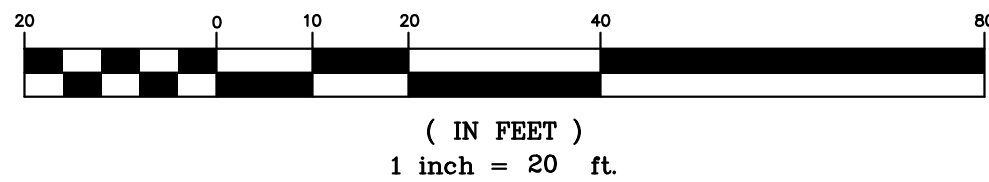
CALL BEFORE YOU DIG

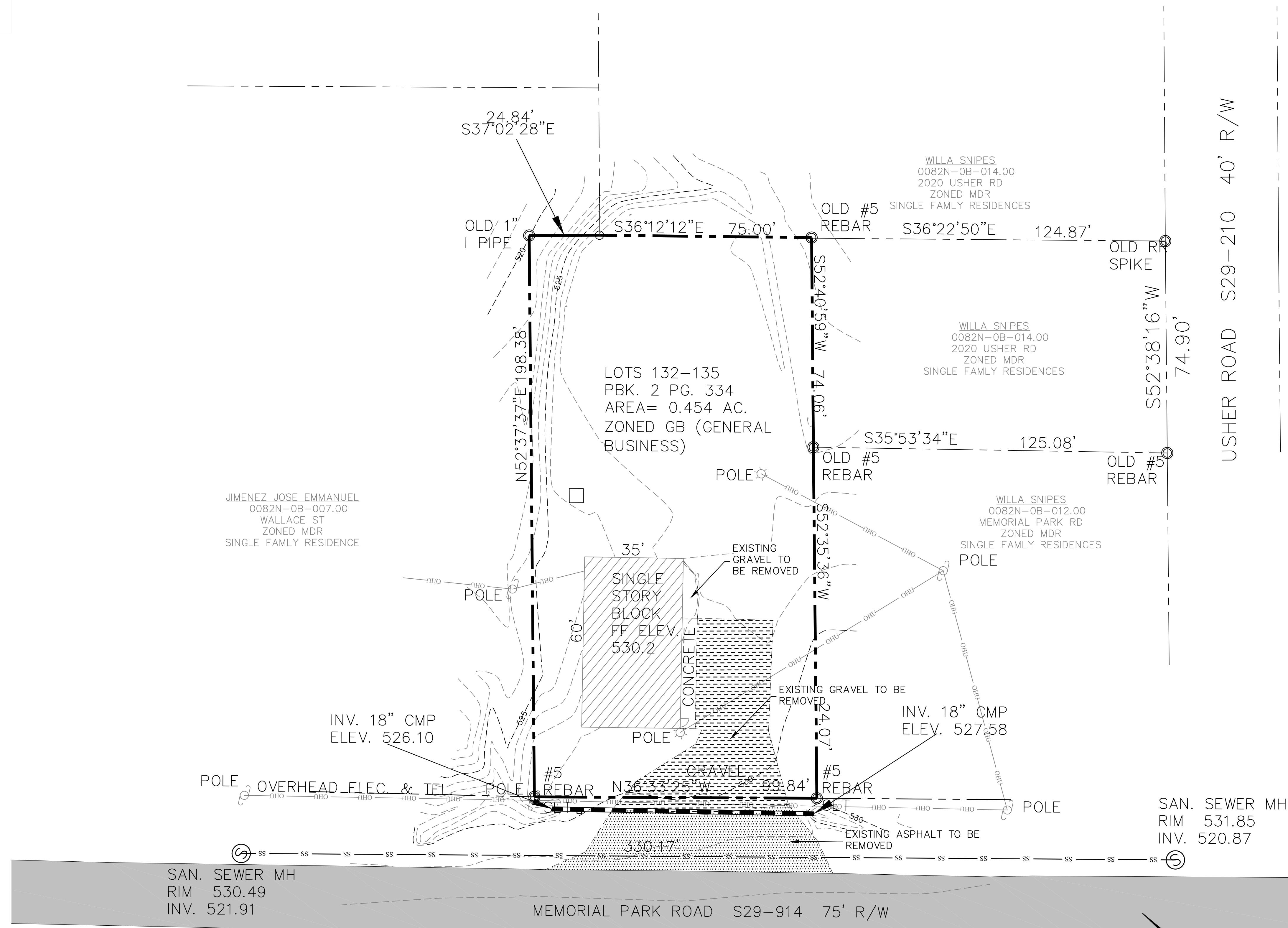
3 DAY BEFORE DIGGING IN
SOUTH CAROLINA
CALL 811 or
1-888-721-7877

UNDERGROUND LOCATORS:
CONTRACTOR SHALL CONTACT
THE UNDERGROUND LOCATORS
EVERY 10 DAYS FOR AN UPDATE
TO UTILITY LOCATIONS.

THE PALMETTO UTILITY
PROTECTION SERVICE, INC.
WWW.SC811.COM

GRAPHIC SCALE





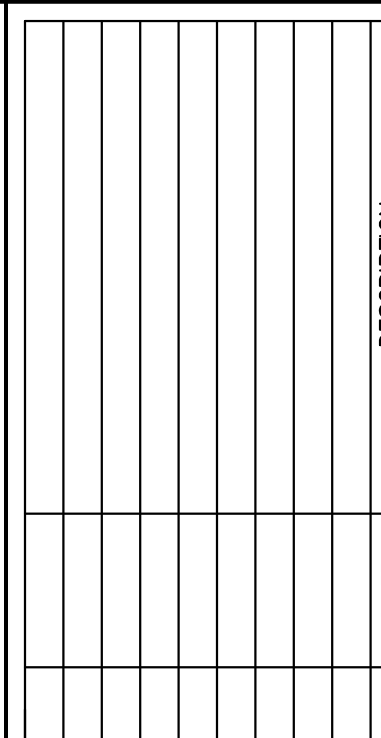
CALL BEFORE YOU DIG

3 DAY BEFORE DIGGING IN
SOUTH CAROLINA

CALL 811 or
1-888-721-7877

UNDERGROUND LOCATORS.
CONTRACTOR SHALL CONTACT
THE UNDERGROUND LOCATORS
EVENLY 10 DAYS FOR AN UPDATE
TO UTILITY LOCATIONS.

THE PALMETTO UTILITY
PROTECTION SERVICE, INC.
WWW.SC811.COM



EXISTING CONDITIONS

SHEET: C2

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL PLAN FOR EXACT LOCATION & SIZE OF WATER, SEWER CONNECTIONS & ROOF DOWNSPOUTS.
- ALL SIDEWALKS TO BE CONSTRUCTED OF MIN. 4 IN. THICK 3500 PSI CONCRETE REINFORCED WITH 6X6 W1.4 X W1.4 WWF. ALL SIDEWALKS SHALL HAVE TOOLED CONTROL JOINTS NOT EXCEEDING 5 FT SPACING IN ANY DIRECTION.
- SEE ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS, FEATURES, STAIRS & HANDRAILS, ETC.
- DRIVEWAY TO BE CONSTRUCTED TO STATE AND LOCAL CODES.
- ACCESSIBLE PARKING:
 - AN ACCESSIBLE PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE.
 - HANDRAILS ARE TO BE PROVIDED ON ACCESSIBLE RAMPS WITH A DROP OF 2".
 - MAXIMUM SLOPE FOR AN ACCESSIBLE ROUTE (SIDEWALK) SHALL BE 5.0% (1:20), MAXIMUM CROSS SLOPE FOR AN ACCESSIBLE ROUTE SHALL BE 2.0% (1:50)
 - ALL ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS WHICH SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- EROSION PROTECTION MUST BE MAINTAINED UNTIL LANDSCAPE IS COMPLETE.
- ALL DISTANCES & DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF WORK.
- THE PROPOSED GRADES AS SHOWN IN THESE PLANS ARE THE FINISHED GRADES UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL SUPPLY & ESTABLISH SURVEY CONTROL INCLUDING THE HORIZONTAL & VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL & PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS & LINES NECESSARY FOR CONSTRUCTION. CONTRACTOR(S) SHALL PROVIDE ADEQUATE SUPERVISION TO PREVENT DAMAGE & MOVEMENT FROM EQUIPMENT WORKING AROUND CONSTRUCTION STAKES. THESE CONSTRUCTION STAKES SHALL REMAIN IN PLACE & BE PROTECTED UNTIL OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED LAND SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALL EXISTING IMPROVEMENTS DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER.
- ALL EXISTING PAVEMENT & CONCRETE JOINED SHALL BE SAW CUT.
- APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ON ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, WRITTEN PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S).
- THE LOCATION OF EXISTING UTILITIES, STORM DRAIN STRUCTURES & OTHER ABOVE AND BELOW GRADE IMPROVEMENTS ARE APPROXIMATELY AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE & INVERT ELEVATIONS OF SUCH PRIOR TO START OF CONSTRUCTION.
- PROMPTLY INFORM THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS DISCOVERED BETWEEN THE DRAWINGS AND SPECIFICATIONS.
- SITE LIGHTING BY OTHERS.
- ALL SIGNS TO BE APPROVED BY LANCASTER COUNTY.

STREET TREE PLANTING:

RATE: 1 CANOPY TREE FOR EVERY 50 FEET OF STREET FRONTAGE
 SPACING: MAXIMUM OF 50 FEET ON-CENTER
 LOCATION: IN PLANTING STRIP (5-FOOT MINIMUM WIDTH)* OR TREE WELL
 (25-SQUARE-FOOT MINIMUM AREA)

REQUIRED :

MEMORIAL PARK ROAD
 1 CANOPY PER 50' STREET FRONTAGE = MEMORIAL PARK ROAD = 100'/50' = 2 TREES, 2 UNDERSTORY TREES PROVIDED DUE TO OVERHEAD UTILITIES

TYPE "C" BUFFER YARD REQUIREMENTS

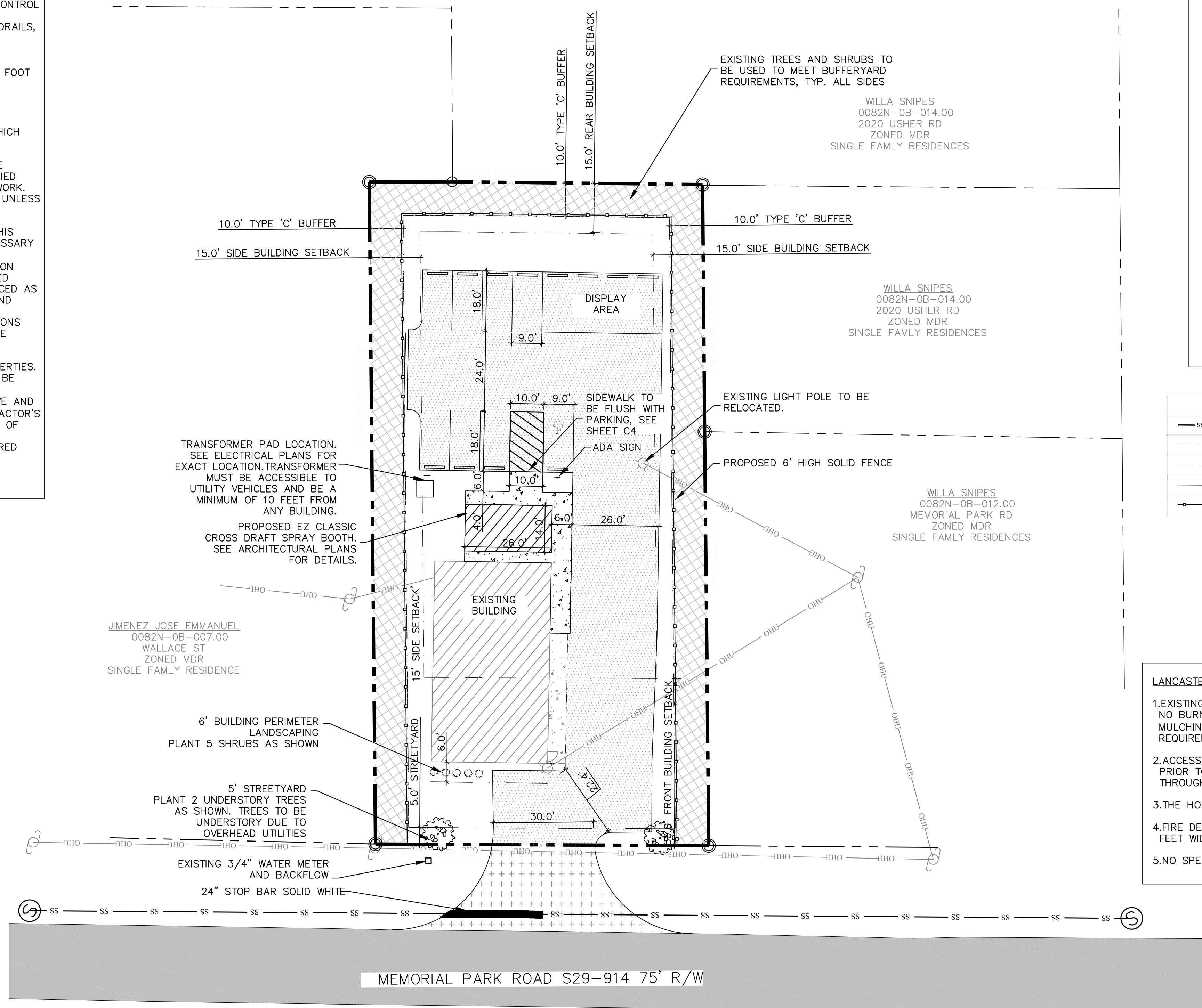
Type C Buffer Yard Options	Minimum Depth	Minimum Plantings per 100 linear feet	Wall, Fence, or Berm	Required Opacity
Option 1	40 feet	4 Evergreen Trees 4 Canopy Trees 4 Understory Trees 36 Evergreen Shrubs	Not Required	Completely opaque (i.e., having no horizontal openings from the ground to a height of 8 feet within 2 years of planting)
Option 2	25 feet	4 Evergreen Trees 4 Canopy Trees 4 Understory Trees	Wall or Fence	
Option 3	10 feet	2 Evergreen Trees 2 Canopy Trees 2 Understory Trees 12 Evergreen Shrubs	Berm	

EXISTING TREES TO BE USED TO MEET REQUIREMENTS

Building Perimeter Landscaping Requirements:

- Minimum Required Landscape Area: A minimum 6 foot wide area shall be provided for landscaping along any side of the building facing a public right-of-way. Up to 25 percent of the building width along the street may be utilized for entrance walkways.
- Minimum Required Landscaping: The minimum required landscaping shall consist of one of the following options every 40 linear feet:
 - 2 understory trees; or
 - 10 shrubs; or c. Any equivalent combination thereof.

REQUIRED :
 20' BLDG (PORTION WITHOUT PAVEMENT)
 5 SHRUBS REQUIRED.



NOTE: LIGHTING TO MEET REQUIREMENTS OF LANCASTER COUNTY UNIFIED DEVELOPMENT ORDINANCE CHAPTER 7, SECTION 7.3.

	SCDOT R/W PAVING
	EXISTING ASPHALT
	PROPOSED ASPHALT
	BUFFERYARD
	EXISTING CONCRETE
	PROPOSED CONCRETE

ALL PAVING AS DIRECTED BY OWNER. ALL PAVEMENT IN SCDOT R/W TO MEET SCDOT STANDARDS.

LEGEND	
	EXISTING SEWER
	EXISTING OVERHEAD UTILITIES
	BUILDING SETBACK
	STREET YARD
	PROPOSED FENCE

LANCASTER FIRE AND RESCUE NOTES:

- EXISTING CONDITIONS:
NO BURNING OF EXISTING STRUCTURES
MULCHING/HAULING AWAY OF VEGETATIVE DEBRIS IS REQUIRED
- ACCESS DURING CONSTRUCTION MUST BE IN PLACE PRIOR TO VERTICAL CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION
- THE HOSE PULL REQUIREMENT IS 150 FEET
- FIRE DEPARTMENT ACCESS ROAD NO LESS THAN 20 FEET WIDE
- NO SPEED BUMPS, HUMPS, TABLES, ETC. OR ALLOWED.

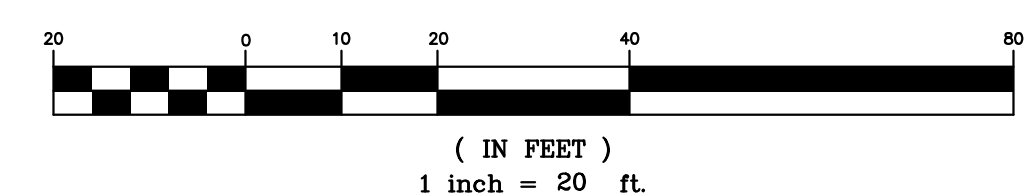
CALL BEFORE YOU DIG

3 DAY BEFORE DIGGING IN SOUTH CAROLINA
 CALL 811 or 1-888-721-7877

UNDERGROUND LOCATORS. CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

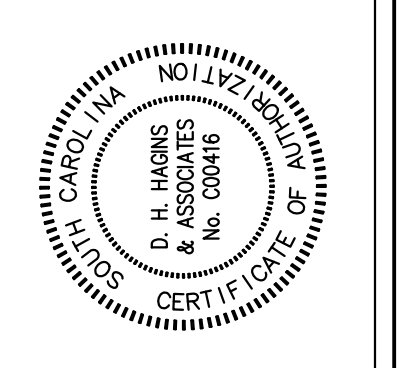
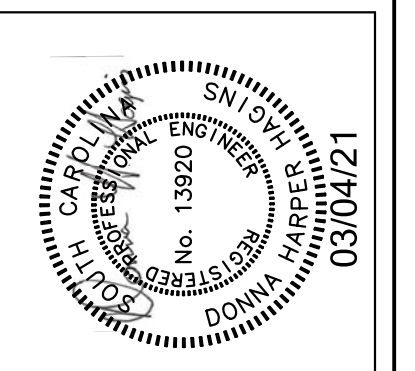
THE PALMETTO UTILITY PROTECTION SERVICE, INC.
 WWW.SC811.COM

GRAPHIC SCALE



REV.	DATE	DESCRIPTION

D H Hagins & Associates, LLC
 Civil Consulting Engineers
 2583 Kershaw Camden Hwy. Lancaster, SC 29720
 Phone: (803) 286-4472



SAM AND SON AUTO REPAIR
LANCASTER COUNTY SC

SITE PLAN

DATE: 03/03/21

SCALE: 1" = 20'

JOB NO. 534.001

SHEET: C3

The site plan shows a proposed building (hatched area) and an existing building (diagonal lines). The site is bounded by a dashed line representing the limits of construction. Key features include:

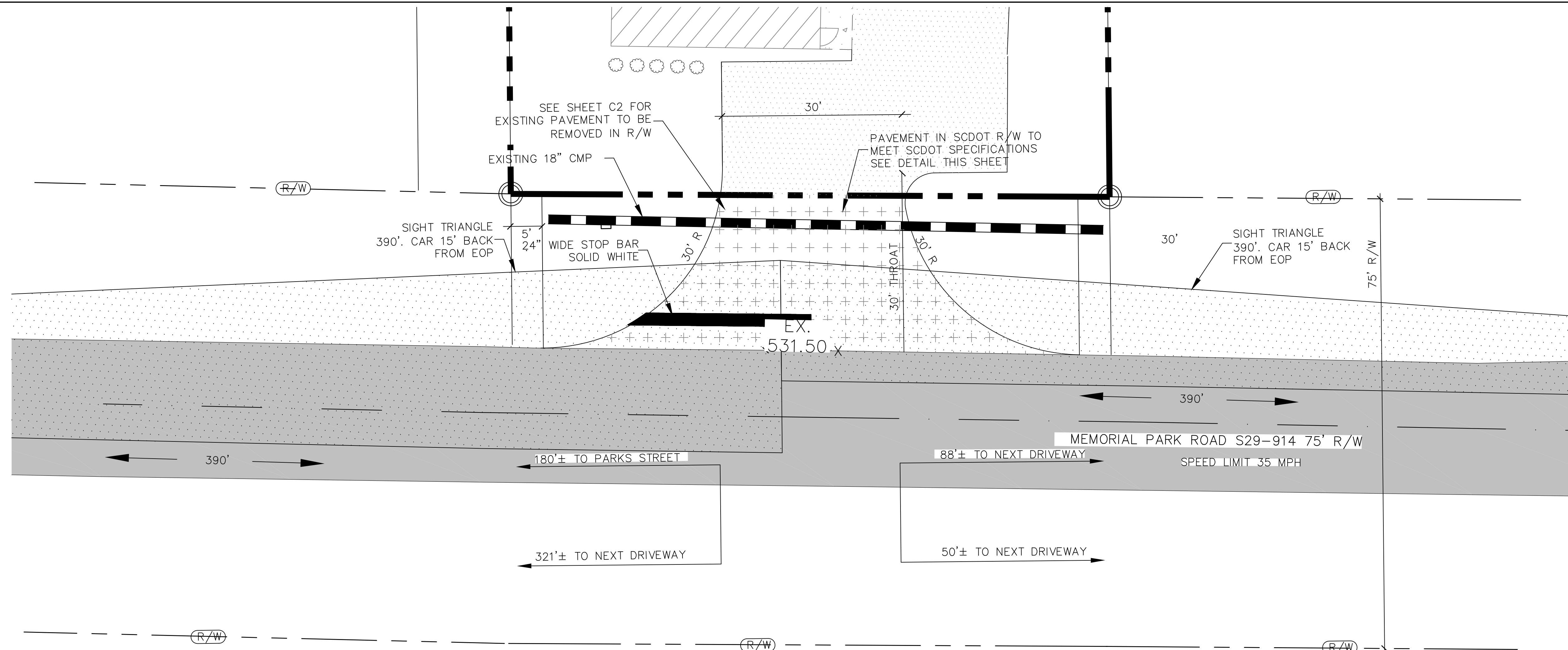
- Proposed Building:** Located in the upper right portion of the site, with a footprint of approximately 529.00' x 529.00'.
- Existing Building:** Located in the lower left portion of the site, with a footprint of approximately 529.00' x 529.00'.
- Setbacks:** The site is surrounded by setbacks of 527.24', 527.60', 527.96', 528.44', 528.80', 528.88', 529.00', 529.20', 529.50', 530.00', 531.00', and 531.50'.
- Surrounding Properties:**
 - Top Left:** JIMENEZ JOSE EMMANUEL, 0082N-OB-007.00, WALLACE ST, ZONED MDR, SINGLE FAMLY RESIDENCE.
 - Top Right:** WILLA SNIPES, 0082N-OB-014.00, 2020 USHER RD, ZONED MDR, SINGLE FAMLY RESIDENCES.
 - Bottom Right:** WILLA SNIPES, 0082N-OB-012.00, MEMORIAL PARK RD, ZONED MDR, SINGLE FAMLY RESIDENCES.
- Site Features:**
 - SILT FENCE, TYP:** Located along the western boundary.
 - SILT FENCE ROCK OUTLET (TYP):** Located along the western boundary.
 - STOCK PILE AREA AS NEEDED:** Located in the lower left corner.
 - CONCRETE WASHOUT, PLACE AS NEEDED INSIDE LIMITS OF DISTURBANCE:** Located in the lower left corner.
 - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE:** Located along the southern boundary.
 - SIDEWALK TO BE FLUSH WITH PARKING:** Located along the eastern boundary.
- Memorial Park Road:** Located at the bottom of the site, with a 75' R/W (Right of Way).

1. RECEIVE NPDES COVERAGE FROM SCDEH if REQUIRED.
2. AFTER RECEIVING NPDES APPROVAL, CONTACT THE REGIONAL OFFICE 48 HOURS PRIOR TO LAND DISTURBING ACTIVITIES TO SET UP PRECONSTRUCTION MEETING if NEEDED.
3. INSTALL GRAVEL CONSTRUCTION ENTRANCE.
4. CLEAR AND GRUB ON SITE AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS INCLUDING SILT FENCE.
5. GRADE SITE.
6. PLACE PERMANENT STABILIZATION.
7. REMOVE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED.
8. ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION.
9. SUBMIT NOTICE OF TERMINATION TO DHEC AS APPROPRIATE.

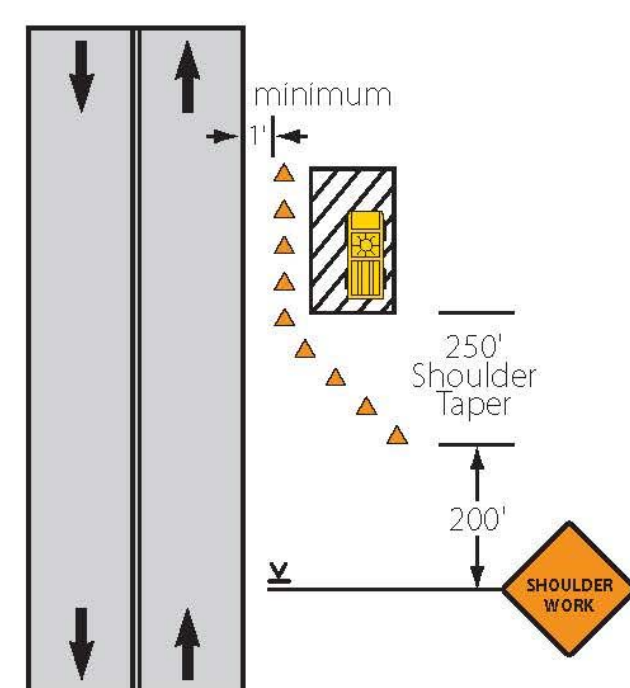
THE PALMETTO UTILITY
PROTECTION SERVICE, INC.
WWW.SC811.COM

(IN FEET)
1 inch = 20 ft.

SHEET: C4



Shoulder Work
(1' - 15' From the Edge of Pavement)
(Short-Term Stationary - 1 to 2 Hours)

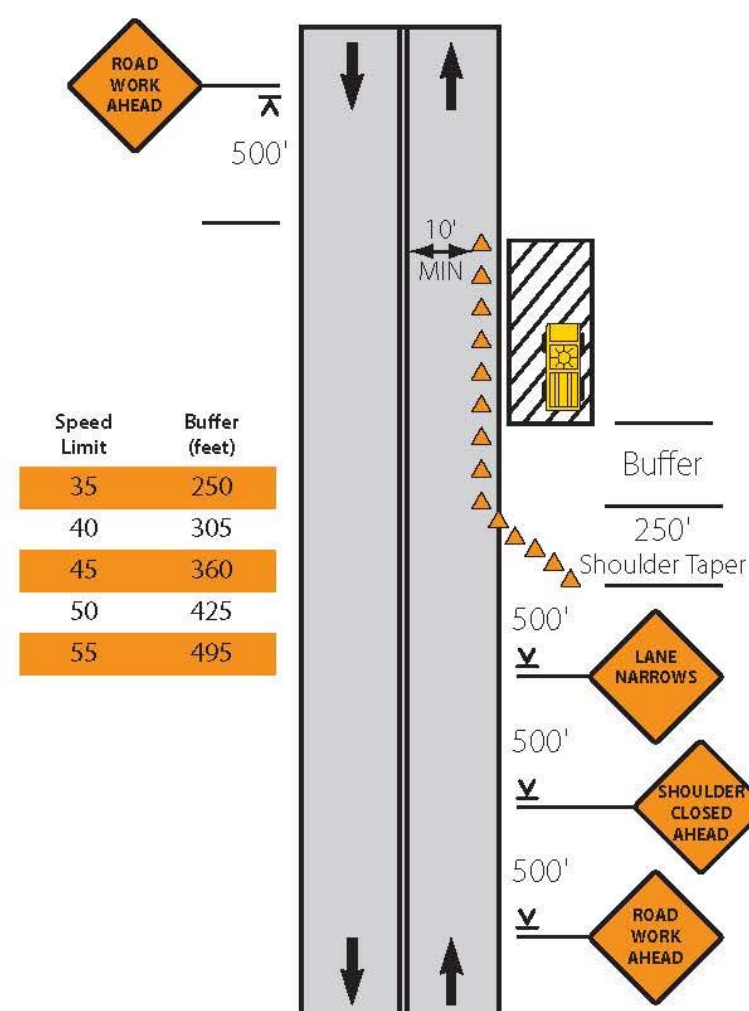


Notes:

- For intermediate speed conditions (40 to 50 MPH), a 350-foot sign spacing may be used, and for high speed conditions (55 to 60 MPH), use a 500-foot sign spacing.
- For short-term stationary work zones in a shoulder area, an array of advance warning signs is required. Install these advance warning sign arrays as follows:
 - Low Speed Conditions (35 MPH or less) - this sign array will include "Shoulder Work".
 - Intermediate Speed Conditions (40 to 50 MPH) - this sign array will include "Road Work Ahead", "Right (Left) Shoulder Closed Ahead", and "Shoulder Work".
 - High Speed Conditions (55 to 60 MPH) - this sign array will include "Road Work 1500 FT", "Right (Left) Shoulder Closed 1000 FT", and "Right (Left) Shoulder Closed 500 FT".
- "Utility Work Ahead" or "Workers" symbol signs may be used instead of the "Shoulder Work" sign.

16

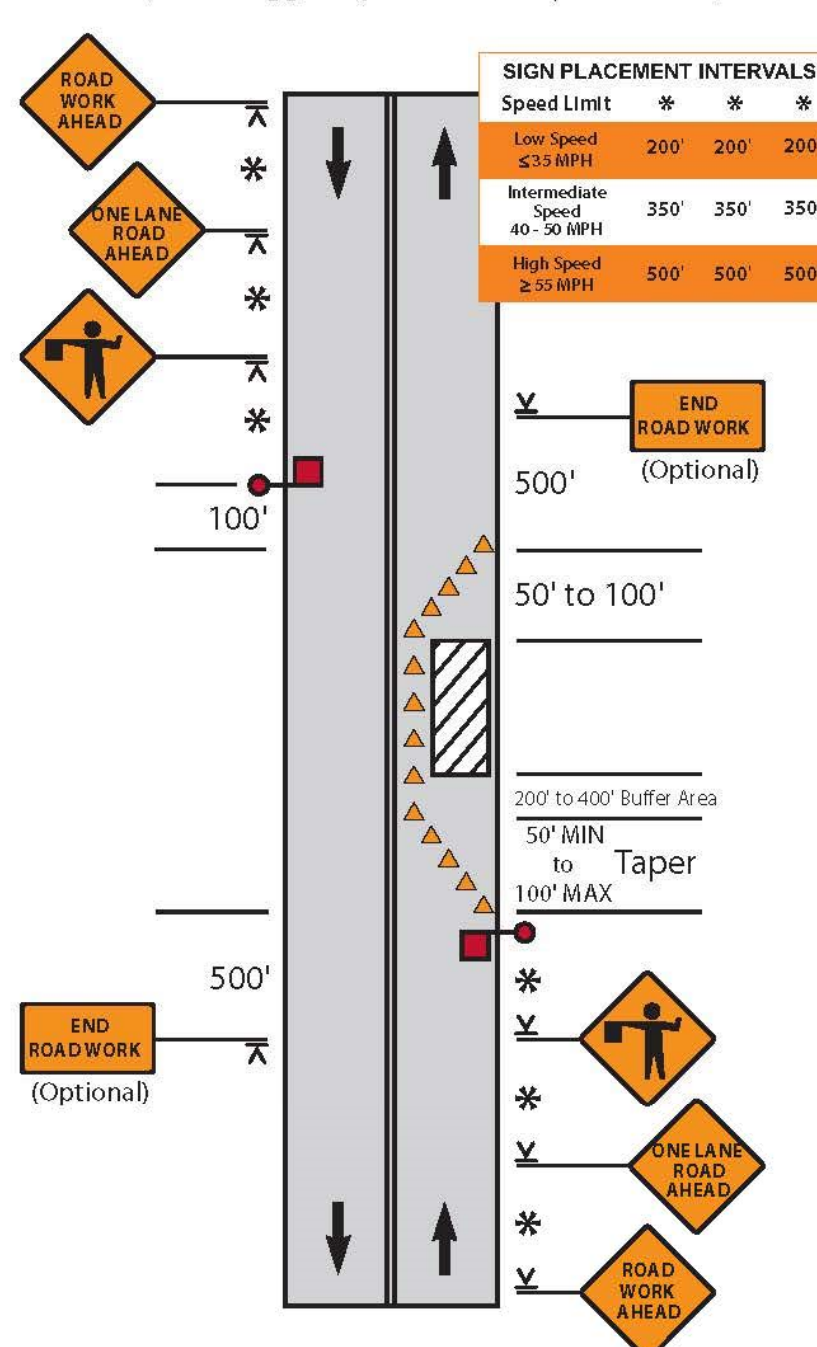
Shoulder Work with Minor Encroachment



Notes:

- This typical application applies to roadways with posted speed limits of 55 MPH or less.
- Maintain a minimum lane width of 10'; however, on a low volume roadway, a minimum lane width of 9' is acceptable if traffic does not include wide loads.
- For low speed conditions (35 MPH or less), a 200-foot sign spacing may be used and for intermediate speed conditions (40 to 50 MPH), a 350-foot sign spacing may be used.
- An array of 3 advance warning signs is required. This sign array will include "Road Work Ahead", "Right (Left) Shoulder Closed Ahead", and "Lane Narrows".

Lane Closure on a Two-Lane Road
(Two-Flagger Operation - Daytime ONLY)

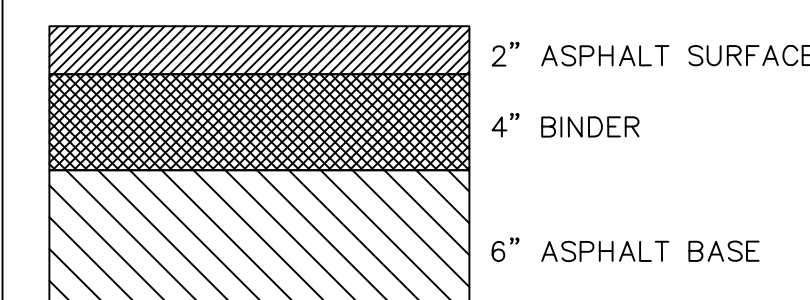
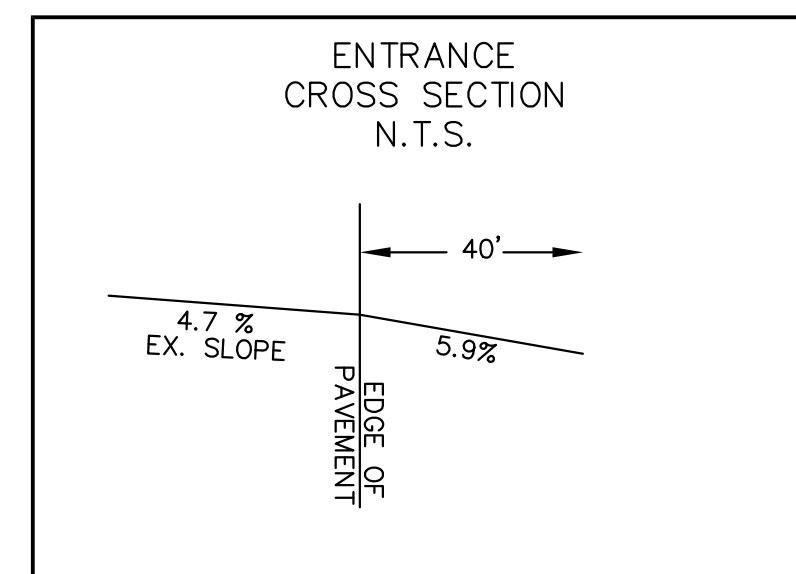


Notes: see page 22.

NOTES:

- SCDOT PERMIT MUST BE ON SITE.
- USE SIGNAGE "MEN WORKING".
- SCDOT TO BE INVITED TO ALL PRE CONSTRUCTION MEETINGS.
- ALL COMPACTION TO MEET SCDOT STANDARDS.
- SCDOT SHALL BE NOTIFIED WHEN WORK DEFINED IN THE PERMIT STARTS, AS WELL AS WHEN THE WORK IS COMPLETE. REFERENCE SHALL BE MADE BY PERMIT NUMBER.
- SCDOT IS TO BE NOTIFIED 24 HOURS IN ADVANCE PRIOR TO ANY CONSTRUCTION WITHIN THE STATE RIGHT-OF-WAY.
- THE APPLICANT SHALL BE RESPONSIBLE FOR THE IMMEDIATE REMOVAL OF SUCH HAZARDS AS MUD, DEBRIS, LOOSE STONE AND TRASH, AS MAY BE WASHED OR SPILLED INTO THE TRAVEL WAY AS A RESULT OF PROPOSED WORK.
- ADEQUATE PROVISIONS SHALL BE MADE FOR THE PROTECTION OF THE HIGHWAY TRAFFIC AT ALL TIMES IN ACCORDANCE WITH THE SOUTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL WORK PERFORMED IN CONNECTION WITH THE PERMIT SHALL CONFORM TO SCDOT "A POLICY FOR ACCOMMODATING UTILITIES ON THE HIGHWAY RIGHT-OF-WAY", ARMES MANUAL, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SCDOT STANDARD DRAWINGS & STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, ALL CURRENT EDITIONS.
- ANY FIELD CHANGES, IF NECESSARY, MUST BE APPROVED IN WRITING BEFORE ACTUAL CONSTRUCTION OF PROPOSED CHANGES.
- APPLICANT IS RESPONSIBLE FOR ANY CHANGES UPSTREAM OR DOWNSTREAM AND HOLDS THE SCDOT HARMLESS FOR ANY AND ALL DAMAGES.

ENTRANCE CROSS SECTION
N.T.S.

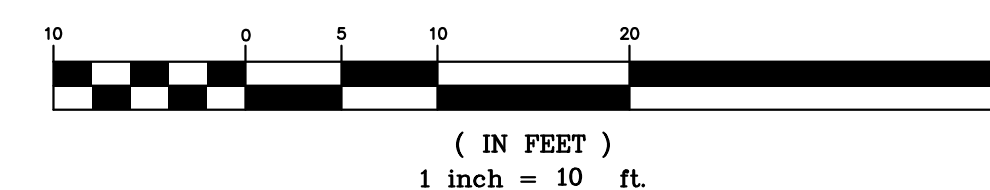


PAVEMENT CROSS-SECTION IN SCDOT RIGHT-OF-WAY

CALL BEFORE YOU DIG

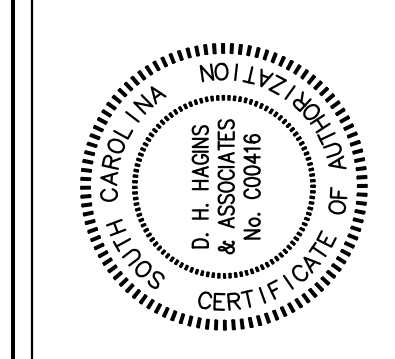
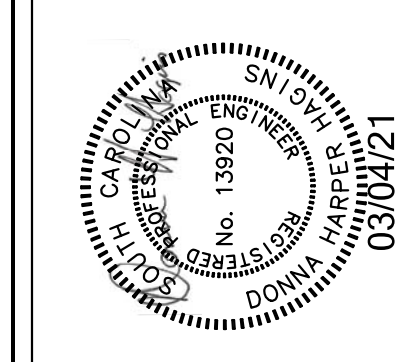
3 DAY BEFORE DIGGING IN SOUTH CAROLINA
CALL 811 or
1-888-721-7877
UNDERGROUND LOCATORS.
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.
THE PALMETTO UTILITY PROTECTION SERVICE, INC.
WWW.SC811.COM

GRAPHIC SCALE



REV.	DATE	DESCRIPTION

DH
D H Hagins & Associates, LLC
Civil Consulting Engineers
2583 Kershaw Camden Hwy, Lancaster, SC 29720
Phone: (803) 286-4472



SAM AND SON AUTO REPAIR
LANCASTER COUNTY SC

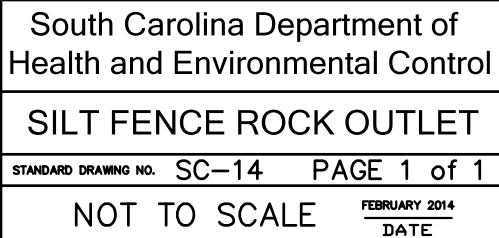
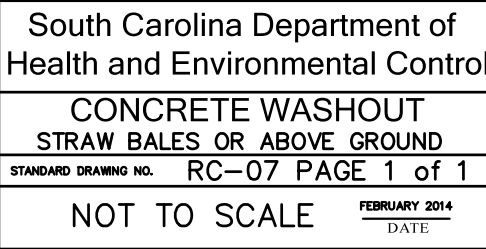
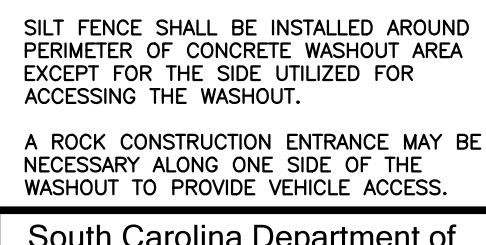
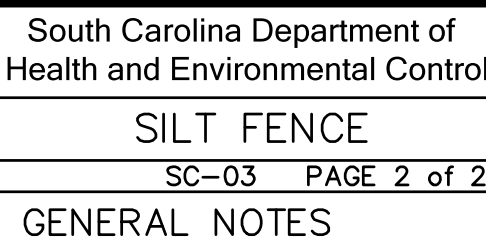
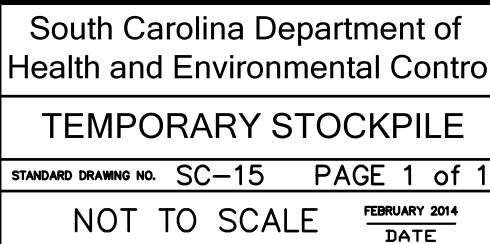
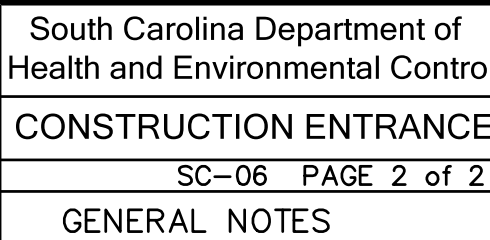
SCDOT ENCROACHMENT DETAILS

DATE: 03/03/21

SCALE: 1" = 10'

JOB NO. 534.001

SHEET: **C5**

[illegible]

If necessary, slopes, which exceed eight (8) vertical feet shall be stabilized with synthetic or vegetative mats, in addition to hydroseeding. It may be necessary to install temporary slope drains during construction. Temporary berms may be needed until hydroseeding.

2. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than fourteen (14) days after work has ceased, except as stated below. Stabilization measures shall be initiated by the 14th day if precluded by snow cover or frozen ground conditions stabilization measures must be initiated as soon as practicable.

- Where construction activity on a portion of the Site is temporarily ceased, and earth-disturbing activities will be resumed within 14 days, temporary stabilization measures do not have to be initiated on that portion of the Site.
- Where erosion control or stabilization measures are not initiated within 14 days of the cessation of work, if periodic inspection or information indicates that a BMP has been used inappropriately, or incorrectly, the Permittee must address the necessary replacement or modification required to correct the BMP within 48 hours of identification.

3. All disturbed areas shall be stabilized within 14 days of completion of construction to control soil erosion during utility construction. All disturbed areas shall be cleaned, graded, and stabilized with grassing immediately after the utility installation. Fill, cover, and temporary seeding at the end of each day are recommended. If water is encountered while trenching, the water should be released to the nearest water body.

4. All erosion control devices shall be properly maintained during all phases of construction until the completion of all construction activities and all disturbed areas have been stabilized. Additional control devices may be required during construction in order to control erosion and/or offsite sedimentation. All temporary control devices shall be removed once construction is completed.

5. The contractor must take necessary action to minimize the tracking of mud onto paved roadway(s) from construction areas the generation of dust. The contractor shall daily remove mud/silt from pavement, as may be required.

6. The contractor shall be responsible for the proper disposal of all construction debris and materials from construction. Individual property owners shall follow these plans during construction or obtain approval of an individual plan in accordance with S.C.R. 72-300 et seq. and SCR100000.

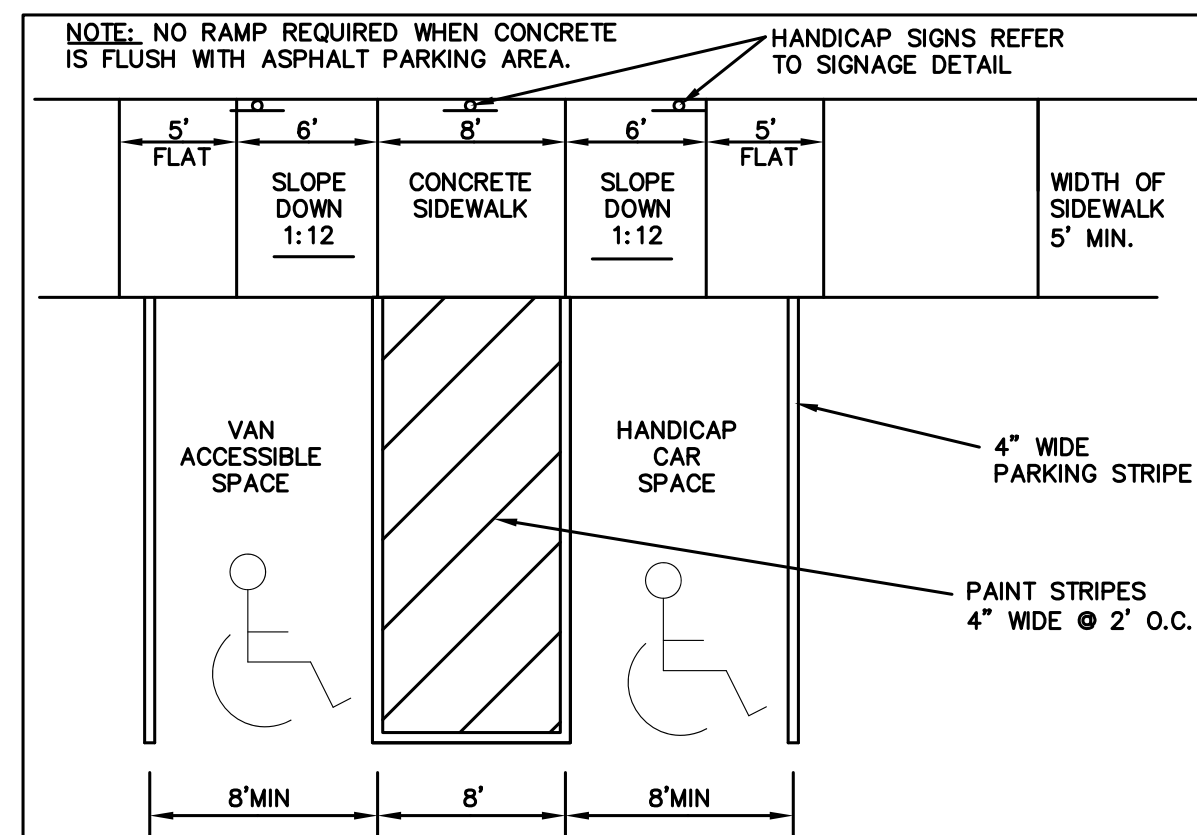
7. Temporary erosion control devices and/or ditches will be provided as needed during construction to protect work areas from upslope runoff and/or to divert sediment-laden water to appropriate traps or stable outlets.

8. All waters of the State (WOS), including wetlands, are to be flagged or otherwise clearly marked in a double row on either side of fence to be installed in all areas where a 50-foot buffer can be maintained between the disturbed area and all WOS. A 50-foot buffer shall be maintained in all areas where a 50-foot buffer cannot be maintained.

9. Litter, construction debris, oils, fuels, and building products with significant potential for impact (such as stockpiles of fresh treated lumber) and construction chemicals that could be exposed to storm water must be prevented from becoming a pollutant source.

10. The following shall be required:

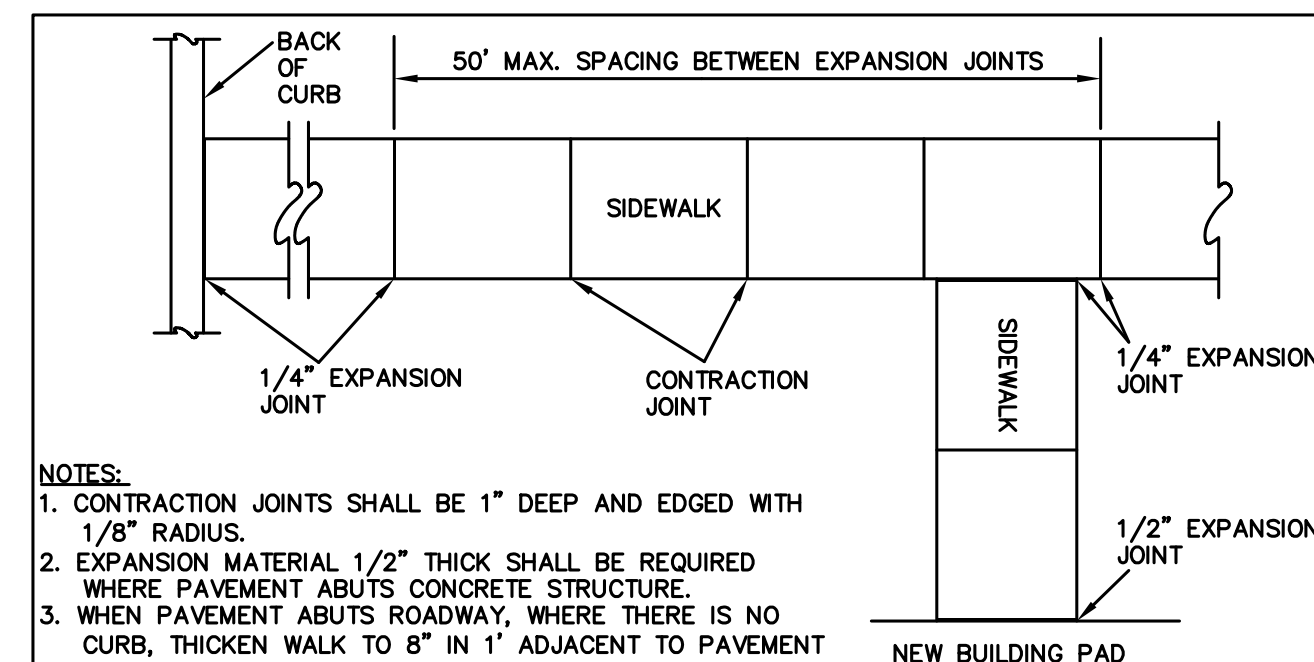
1. A copy of the SWPPP, inspections records, and rainfall data must be retained at the construction site or a nearby location easily accessible during normal business hours, from the date of commencement of construction activities to the date of final project completion.
2. Initiate stabilization measures on any exposed steep slope (3H:1V or greater) where land-disturbing activities have permanently or temporarily ceased, and will not require for a period of 7 calendar days.
3. Minimize soil compaction and, unless feasible, prevent soil compaction and, unless feasible, prevent soil compaction.
4. Minimize the discharge of pollutants from equipment for vehicle washing, wheel wash water, and other wash waters. Wash waters must be treated in a sediment basin or alternative control that provides equivalent or better treatment prior to discharging into any water body.
5. Discharge of pollutants from the clearing of trenches and excavated areas. These discharges are to be routed through appropriate BMPs to the basin for later bagging.



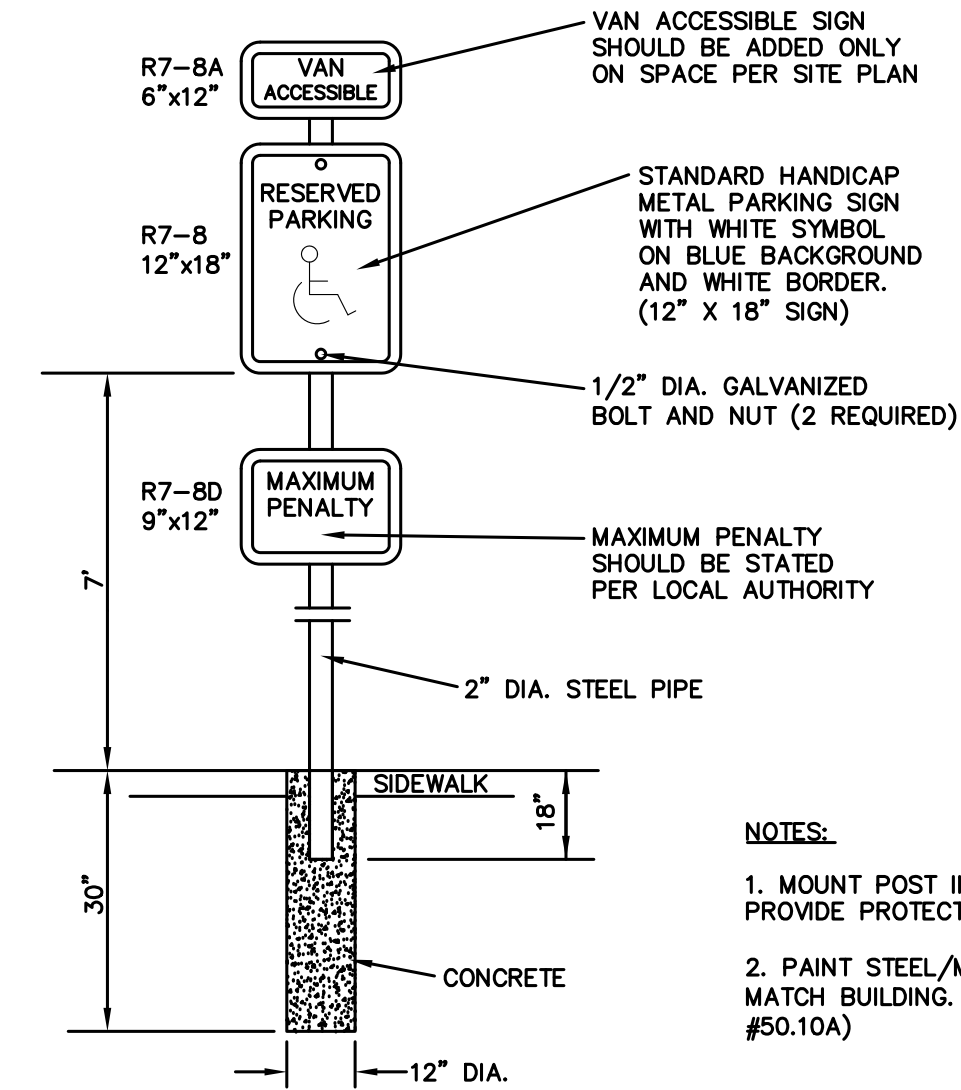
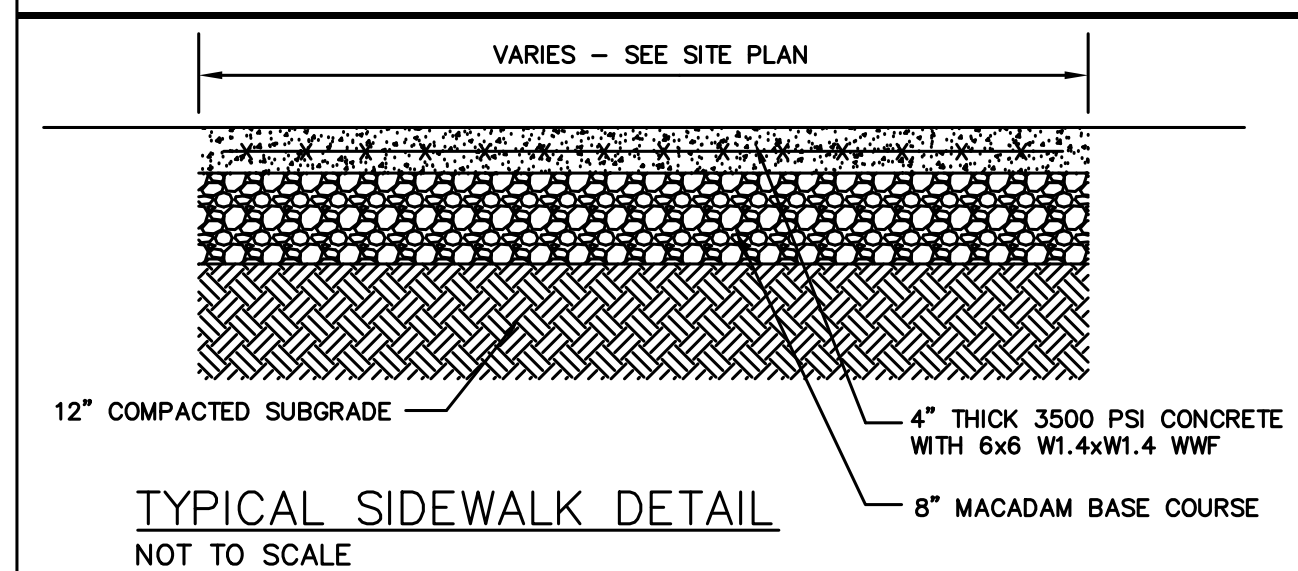
DETECTABLE WARNING NOTE:

MARKED CROSSING TAHT ARE RAISED TO THE SAME LEVEL AS THE DJOINING SIDEWALK SHALL BE PRECEDED BY A 24" DEEP DETECTABLE WARNING EXTENDED THE FULL WIDTH OF THE MARKED CROSSING. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH THE ADJACENT PAVEMENT SURFACES. DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOWMS WITH BASE DIAMETER OF .9 MIN. TO 1.4 MAX. AND A TOP DIAMETER OF 50%MIN. TO 65% MAX. OF THE BASE DIAMETER. HEIGHT SHALL BE .2". SPACING SHALL BE A CENTER TO CENTER SPACING OF 1.6" MIN. AND 2.4" MAX. AND A BASE BASE SPACING OF .65" MIN. MEASURED BETWEEN THE MOST ADJACENT DOMES ON THE GRID.

HANDICAP PARKING SPACE AND RAMP DETAIL
NOT TO SCALE

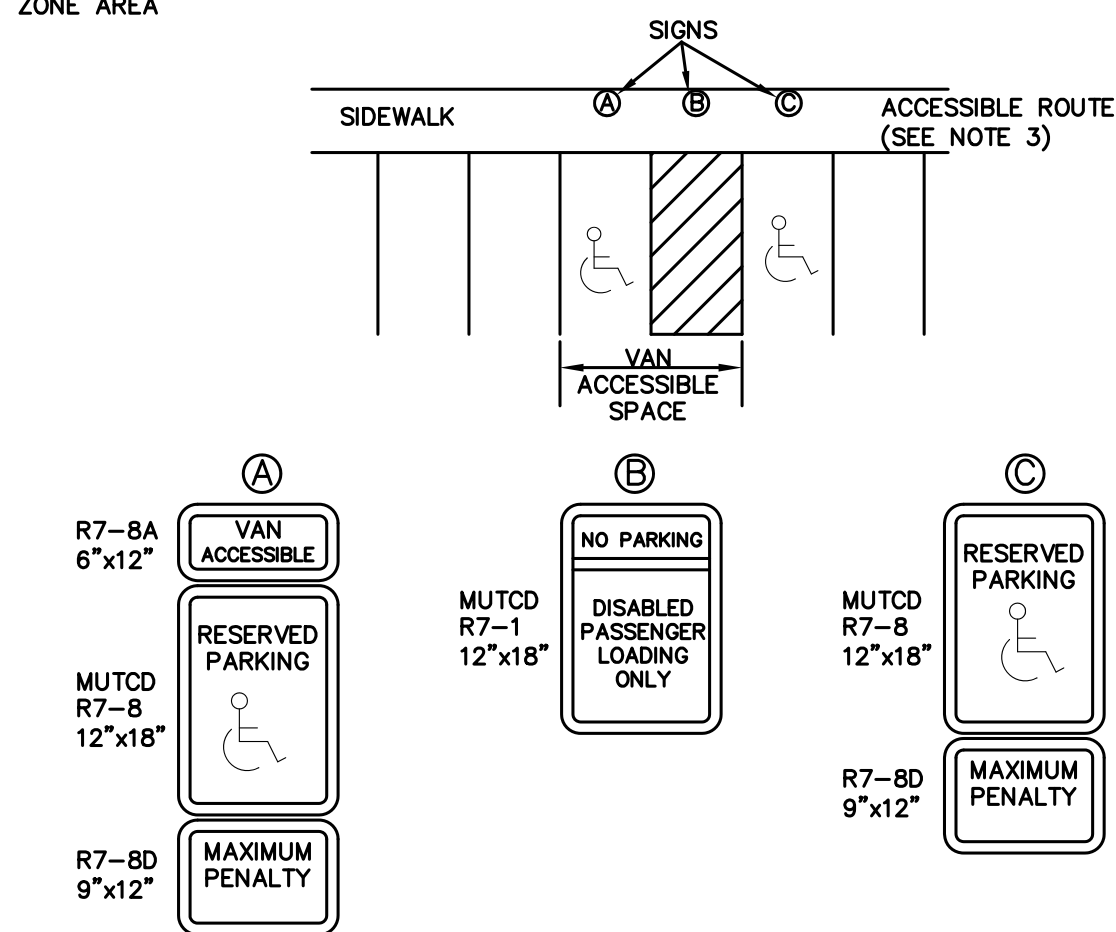


CONCRETE SIDEWALK DETAIL
NOT TO SCALE



NOTES:

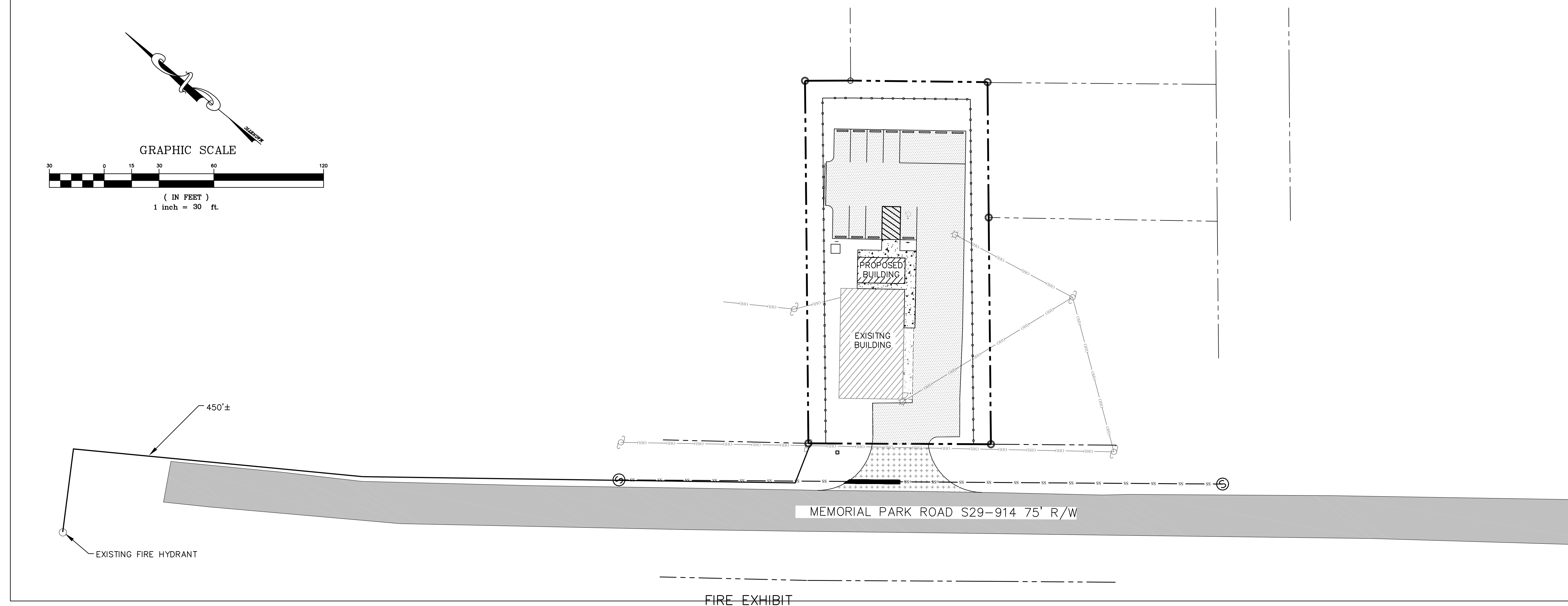
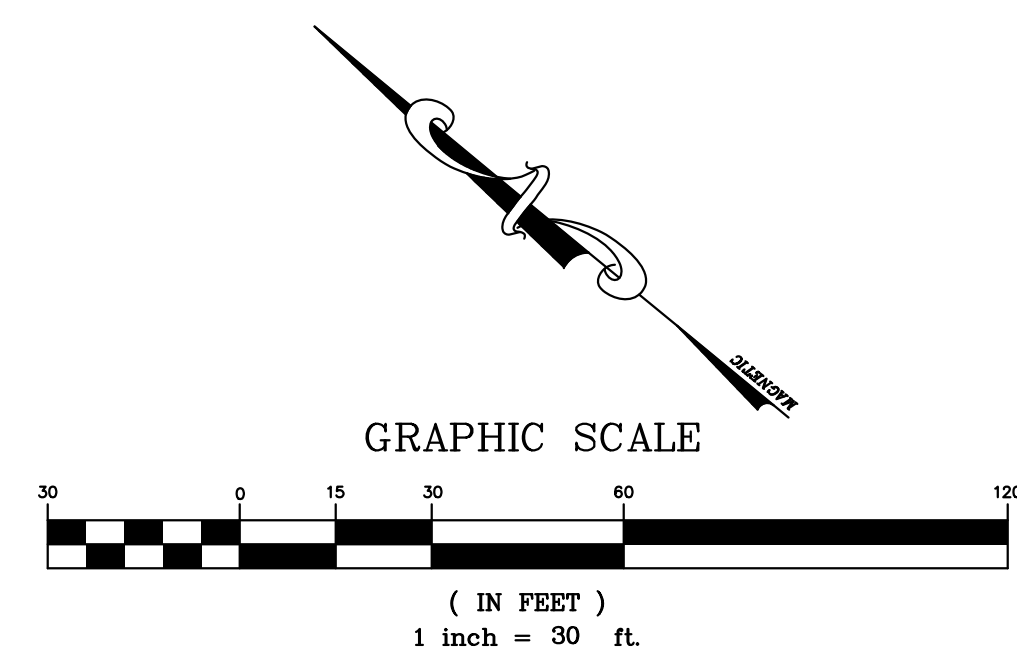
1. MOUNT POST IN SIDEWALK. PROVIDE PROTECTION FOR POST.
2. PAINT STEEL/METAL POST TO MATCH BUILDING. (CMLD STD. #50.10A)



NOTES:

NOTES:

1. ALL 12"x18" ACCESSIBLE SIGNS (R7-8A & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. DEPARTMENT OF TRANSPORTATION AND STATE DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
3. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA



SAM AND SON AUTO REPAIR
LANCASTER COUNTY SC

DETAIL SHEET 2

DATE: 03/03/21

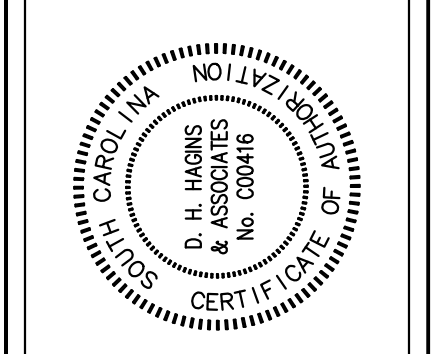
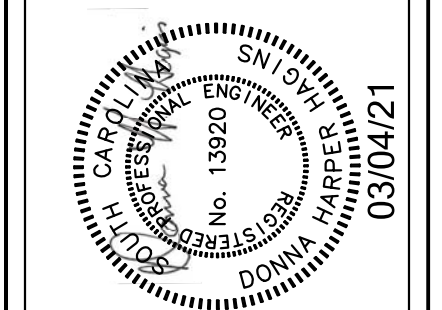
SCALE: 1" = 30'

JOB NO.	534.001
---------	---------

SHEET: C7



D H Hagins & Associates, LLC
Civil Consulting Engineers
2583 Kershaw Camden Hwy., Lancaster, SC 29505
Phone: (803) 286-4472



Agenda Item Summary

Ordinance # / Resolution #: SD-2020-2054 Provident Bayard, LLC

Contact Person / Sponsor: Katie See/Senior Planner

Department: Planning

Date Requested to be on Agenda: 5/6/2021

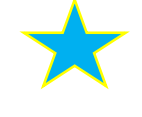
Points to Consider:

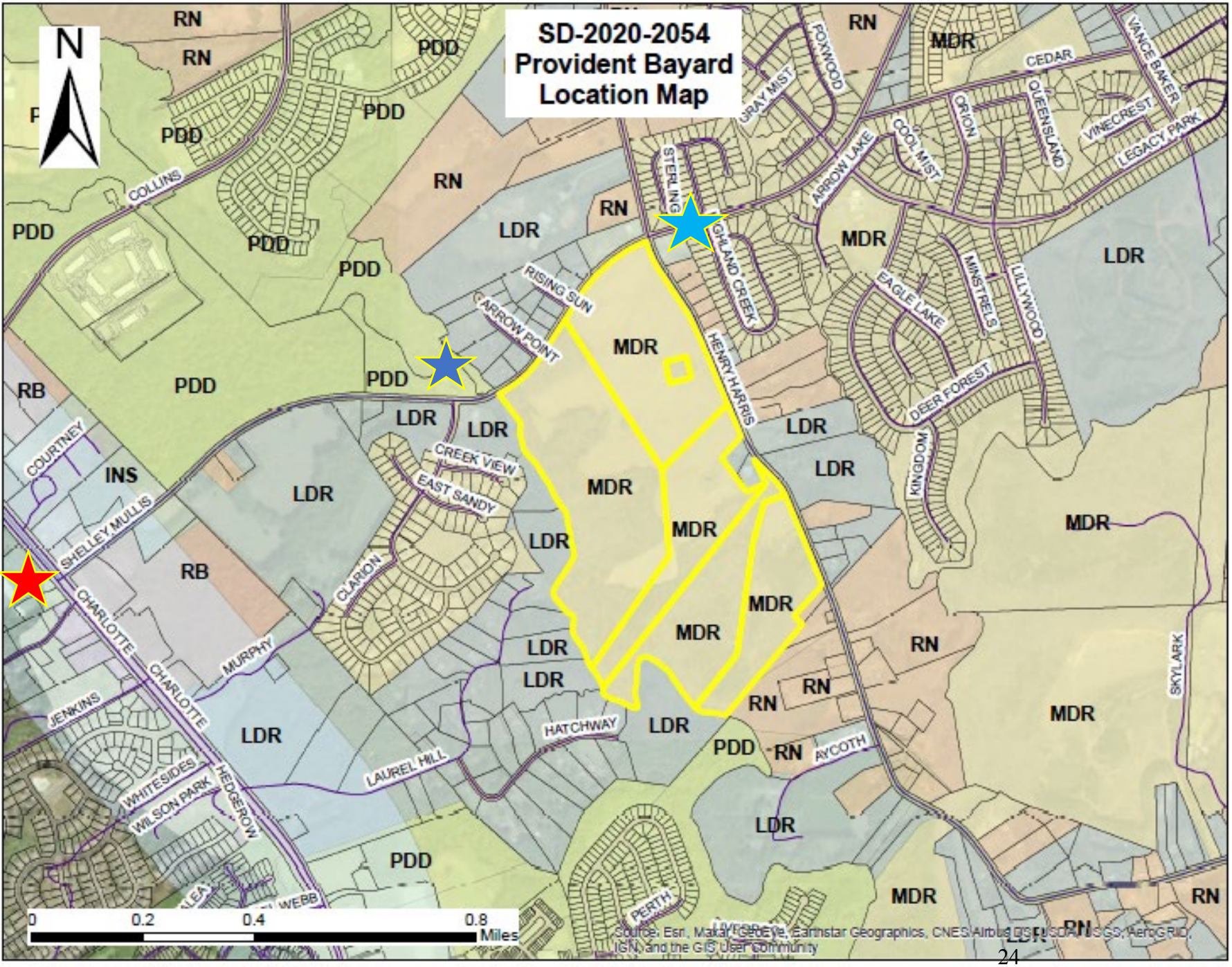
ATTACHMENTS:

Description	Upload Date	Type
Location Map	5/3/2021	Exhibit

Proposal:
Preliminary Plat
325 Single-Family Lots

Legend:

-  Subject Property
-  Deputy Roy Hardin Park
-  Food Lion
-  Indian Land Academy Preschool



Agenda Item Summary

Ordinance # / Resolution #: SD-2020-1750 Carolina Ventures 1, LLC

Contact Person / Sponsor: Katie See/Senior Planner

Department: Planning

Date Requested to be on Agenda: 5/6/2021

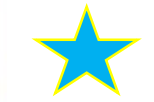
Points to Consider:

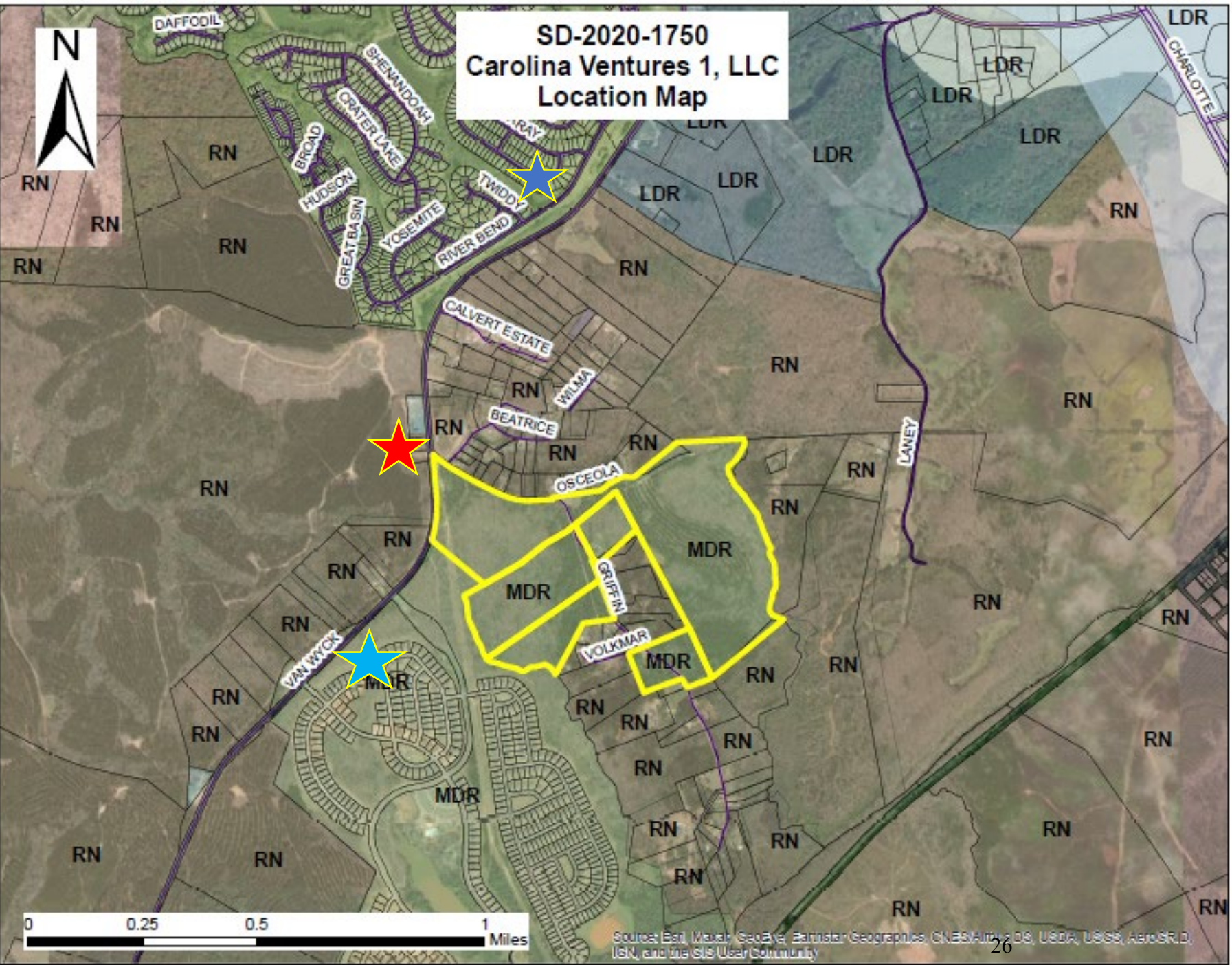
ATTACHMENTS:

Description	Upload Date	Type
Location Map	5/4/2021	Exhibit

Proposal:
Preliminary Plat
281 Single-Family Lots

Legend:

-  Subject Property
-  Sun City
-  Gold Hill AME Zion Church
-  Tree Tops



Agenda Item Summary

Ordinance # / Resolution #: UDO-TA-2021-0704, Restaurant Parking

Contact Person / Sponsor: Robert Tefft, Senior Planner

Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
Staff Report	3/30/2021	Planning Staff Report
Ex 1: Text Amendment	5/4/2021	Exhibit

PROPOSAL: Application by Lancaster County to amend Unified Development Ordinance Section 7.2.4, Off-Street Parking and Loading Requirements, to modify minimum required parking spaces.

APPLICABLE CHAPTER(S): Chapter 7

APPLICANT: Lancaster County

STAFF CONTACT:

Robert G. Tefft, Senior Planner
rtefft@lancastersc.net

7.2.4 OFF-STREET PARKING AND LOADING REQUIREMENTS

A. PARKING REQUIREMENTS BY USE TABLE

The following table details the required minimum and maximum (where applicable) parking ratios by major land use. All area calculations use gross leasable area (GLA). For uses not covered in this table, the parking requirements shall be those of the most similar use as determined by the Administrator.

Use Category	Minimum Required Auto Spaces
Residential	
Dwelling - Single Family & Two Family	1 per unit
Dwelling – Three Family & Four Family	1.5 per unit
Dwelling - Multifamily & Townhome	1.5 per unit
Dwelling - Accessory	1 space per unit
Live-Work Units	1 per 500 sf
Residential Care Facilities	1 per 2 units
All Other Residential Uses	1 per unit
Lodging – All Uses	1 per room
Office/Service	
Medical Clinic	1 per 350 sf
All Other Office/Service Uses	1 per 500 sf
Commercial/Entertainment	
Amusements (Indoor & Outdoor)	No requirement
<u>Bar/Tavern/Brewpub</u>	<u>1 per 50 sf of indoor seating area</u>
	<u>1 per 400 sf of brewing area</u>
	<u>1 per 3 occupants of outdoor seating area, dance floor, standing room only food/beverage areas, etc. (per occupant load)</u>
Restaurant	1 per 250 75 sf <u>of indoor seating area</u>
	<u>1 per 3 occupants of outdoor seating area, dance floor, standing room only food/beverage areas, etc. (per occupant load)</u>
Theater (Indoor & Outdoor)	1 per 80 sf in auditorium
All Other Commercial/Entertainment Uses	1 per 400 sf
Civic	
Places of Assembly (Residential Districts)	No requirement
Places of Assembly (All Other Districts)	1 per 80 sf in main assembly hall
Private Recreational Facility	1 per 250 sf
All Other Civic Uses	1 per 500 sf
Educational/Institutional	
Child/Adult Day Care Centers (6 of more persons)	1 per 500 sf
All Other Educational/Institutional Uses	1 per 1000 sf
Automotive	
Vehicle Services – Minor Maintenance/Repair	1 per gas pump and repair bay

Vehicle Services – Major Repair/Body Work	2 per repair bay
All Other Automotive Uses	1 per 400 sf of office space
Industrial/Wholesale/Storage – All Uses	No requirement
Agricultural – All Uses	No requirement
Infrastructure – All Uses	No requirement

* * * * *

Agenda Item Summary

Ordinance # / Resolution #: Board Member of the Year

Contact Person / Sponsor: Rox Burhans

Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
Board Member of the Year Nomination Form	5/3/2021	Backup Material

LANCASTER COUNTY BOARD MEMBER OF THE YEAR NOMINATION

DATE _____

FULL NAME OF NOMINEE _____

BOARD OR COMMISSION _____

NOMINATED BY _____

WHY DO YOU THINK THIS PERSON DESERVES TO BE NAMED LANCASTER COUNTY BOARD MEMBER OF THE YEAR BY THE LANCASTER COUNTY COUNCIL? **Please include the number of years this person has served on the Board and the number of years they have served in a leadership position(s)?** (Use second sheet or a separate sheet of paper to complete your narration.)

Years of Service _____ Leadership Position(s) and Years in that Role _____

OTHER COMMENTS:

Complete and return this form no later than Friday, May 14, 2021 to Sherrie Simpson, Clerk to Council, P. O. Box 1809, Lancaster, SC 29721. All nominees will be recognized during a Council meeting to be held on **June 28, 2021.**

Agenda Item Summary

Ordinance # / Resolution #: Lancaster County School District Impact Fee Study

Contact Person / Sponsor: LCSD

Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider:

Agenda Item Summary

Ordinance # / Resolution #: Current Cases Map Overview

Contact Person / Sponsor: Ashley Davis

Department: Planning

Date Requested to be on Agenda: 5/6/2021

Points to Consider: