

Planning Commission Members

District 1: Alan Patterson
District 2: Tamecca Neely
District 3: Charles Deese, Chair
District 4: Judianna Tinklenberg
District 5: James Barnett, Vice-Chair
District 6: Sheila Hinson
District 7: Ben Levine

**County Attorney**

Ginny L. Merck-Dupont

Clerk to Planning Commission

Jennifer Bryan

Development Services Director

July 6, 2023

5:00 PM

**101 North Main Street
Lancaster, SC 29720**

**LANCASTER COUNTY PLANNING COMMISSION
County Council Chambers, County Administration
Building, 101 North Main Street, Lancaster, SC 29720**

AGENDA

- 1. Call to Order Regular Meeting and Roll Call Vote**
- 2. New Business**
 - a. UDO-TA-2023-0972 Sec. 2.4 MDR Standards**

Chapter Two, Sec 2.4 District Standards (MDR): Application by Planning Department on behalf of County Council to amend standards for MDR district, regarding lot size, front setbacks, usable open space, block length, and density calculation.
 - b. UDO-TA-2023-0973 Sec. 4.4.1 CSOD Standards**

Chapter 4, Sec. 4.4 1 Cluster Subdivision Overlay Standards: Application by Planning Department on behalf of County Council to amend standards for Cluster Subdivision Overlay District, regarding lot size, front setbacks, usable open space, block length, CSOD lot size mix, and density calculation
 - c. UDO-TA-2023-0975 Sec. 6.5 County Street Classification & Design**

Sec. 6.5 County Street Classification & Design: Application by Planning Department on behalf of County Council to amend Section 6.5 County Street Classification & Design.
 - d. CU-2023-0695 Tommy's Car Wash**

Application by The Timmons Group, TIL Holdings of Texas, George McGinn and Sallie Cooper for a Conditional Use Permit for a 2.9-acre parcel at 168 Fort Mill Highway/Highway 160 (TM# 0008-00-007.00) for development of an automated car wash facility.
 - e. RZ-2023-0739 Barchu**

Application by Barby Barchu to rezone .30 acres at 165 Brooklyn Avenue, Lancaster (TM# 0081H-0C-013.00) from Medium Density Residential (MDR) to Neighborhood Business (NB) District, in order to re-establish the existing vacant business use.

f. RZ-2023-0831 Grace-Lynwood UMC

Application by Ronald Woods and Rev. Matthew Alexander on behalf of Grace-Lynwood United Methodist Church to rezone 5.819 acres at 1743 Lynwood Drive (TM# 087G-0C-004.00) from Institutional (INS) to Medium Density Residential (MDR) District, in order to market the property for residential use.

g. Overview of next month's Agenda

h. Other

3. Adjourn

Agenda Item Summary

Ordinance # / Resolution #: UDO-TA-2023-0972 Sec. 2.4 MDR Standards

Contact Person / Sponsor: A. Hardin

Department: Planning

Date Requested to be on Agenda: 7/6/2023

Points to Consider:

Draft Text will be provided at Workshop

ATTACHMENTS:

Description	Upload Date	Type
Application	7/5/2023	Exhibit



Planning Department

P.O. Box 1809, 101 N. Main Street, Lancaster, SC 29721
Phone: 803.285.6005, planning@lancastercountysc.net
www.mylancastersc.org

TEXT AMENDMENT APPLICATION

SUBMITTAL REQUIREMENTS

- Completed Application
- Signatures of Applicant
- Fees associated with Application

GENERAL INFORMATION

UDO Section(s) Proposed to be Amended UDO Chapter Two, Sec. 2.4 District Standards

Current Text _____

Refer to Exhibit A

Proposed Text Refer to Exhibit B

Description of Need for Proposed Text The proposed amendment changes standards for
Medium Density Residential (MDR) District : Lot size and front setbacks, usable
open space, block length, and density calculation .

☒ Additional pages attached for more information

CONTACT INFORMATION

Applicant Name Allison Hardin, by Request from County Council

Address 101 N. Main Street

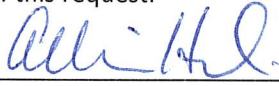
City Lancaster State SC Zip 29720 Phone 803-285-6005

Fax _____ Email ahardin@lancastersc.net

APPLICATION CERTIFICATIONS

I hereby certify that I have read this application and the information supplied herein is true and correct to the best of my knowledge. I agree to comply with all applicable County ordinances and state laws related to the use and development of the land. I further certify that I am the property owner, or his/her authorized agent, or the subject property. I understand that falsifying any information herein may result in rejection or denial of this request.

Allison Hardin, Interim Planning Dir.



5-24-23

Applicant

Date

COUNTY COUNCIL REQUEST 3/27/2023 Agenda item 8b

Property Owner(s)

Date

Attach owner's notarized written authorization with property information if the applicant is not the owner.

LANCASTER COUNTY OFFICE USE ONLY

Application Number _____ Date Received _____ Receipt Number _____

Amount Paid _____ Check Number _____ Cash Amount _____

Received By _____ Planning Commission Meeting Date _____

SCHEDULE/PROCESS

1. Submit Application

- The deadline for this application is at least 45 days prior to the Planning Commission meeting, held every third Tuesday of the month.
- Once an application is submitted, it is placed on the Planning Commission agenda for the following month.
- An application withdrawal should be made in writing and received prior to public notice in order to receive a refund.
- Text Amendment Application Fee - \$435.00

2. Planning Commission

- Conducts a public hearing on the application to receive input from Lancaster County citizens, applicant, and other interested parties.
- Reviews the application to ensure it is consistent with the Lancaster County Unified Development Ordinance, Comprehensive Plan, and all adopted County plans.
- Makes a recommendation to the County Council.

3. County Council

- Approves, denies, or submits application to the Planning Commission for further study.
- Action requires three readings for approval

Agenda Item Summary

Ordinance # / Resolution #: UDO-TA-2023-0973 Sec. 4.4.1 CSOD Standards

Contact Person / Sponsor: A. Hardin

Department: Planning

Date Requested to be on Agenda: 7/6/2023

Points to Consider:

Draft text will be provided at Workshop

ATTACHMENTS:

Description	Upload Date	Type
Application	7/5/2023	Exhibit



Planning Department

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Phone: 803.285.6005, planning@lanastercountysc.net
www.mylanastersc.org

TEXT AMENDMENT APPLICATION

SUBMITTAL REQUIREMENTS

- Completed Application
- Signatures of Applicant
- Fees associated with Application

GENERAL INFORMATION

UDO Section(s) Proposed to be Amended UDO Chapter Four, Sec. 4.4.1

Current Text _____

Sec. 4.4.1, Cluster Subdivision Overlay District (Refer to Exhibit A)

Proposed Text Refer to Exhibit B

Description of Need for Proposed Text The proposed amendment changes standards for

Cluster Subdivision Overlay District : Lot size and front setbacks, usable

open space, block length, CSOD lot mix, and density calculation .

☒ Additional pages attached for more information

CONTACT INFORMATION

Applicant Name Allison Hardin, by Request from County Council

Address 101 N. Main Street

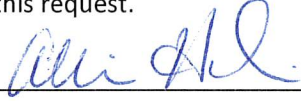
City Lancaster State SC Zip 29720 Phone 803-285-6005

Fax _____ Email ahardin@lanastersc.net

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Date

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- Action requires three readings for approval

Agenda Item Summary

Ordinance # / Resolution #: UDO-TA-2023-0975 Sec. 6.5 County Street Classification & Design

Contact Person / Sponsor: A. Hardin

Department: Planning

Date Requested to be on Agenda: 7/6/2023

Points to Consider:

Draft text will be provided at Workshop

ATTACHMENTS:

Description	Upload Date	Type
Application	7/5/2023	Exhibit



Planning Department

P.O. Box 1809, 101 N. Main Street, Lancaster, SC 29721
Phone: 803.285.6005, planning@lanastercountysc.net
www.mylanastersc.org

TEXT AMENDMENT APPLICATION

SUBMITTAL REQUIREMENTS

- Completed Application
- Signatures of Applicant
- Fees associated with Application

GENERAL INFORMATION

UDO Section(s) Proposed to be Amended _____

Current Text _____

Proposed Text _____

Description of Need for Proposed Text _____

☐ Additional pages attached for more information

CONTACT INFORMATION

Applicant Name _____

Address _____

City _____ State _____ Zip _____ Phone _____

Fax _____ Email _____

APPLICATION CERTIFICATIONS

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Applicant

Date

Property Owner(s)

Date

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3. County Council

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Agenda Item Summary

Ordinance # / Resolution #: CU-2023-0695 Tommy's Car Wash

Contact Person / Sponsor: M. Blaszyk

Department: Planning

Date Requested to be on Agenda: 7/6/2023

Points to Consider:

The property was rezoned from the Mixed-Use Zoning District to General Business Zoning District earlier this year (Ordinance No. 2023-1839).

The property is located a quarter mile away from an existing car wash at the Havoline Xpress Lube. The proposed site is also within 1 mile radius of 11 pre-existing minor maintenance and repair facilities. These include car washes, oil change facilities, and repair shops.

The proposed plan includes a 5,000 sq ft "future office building". It is unclear if this structure and associated parking lot would be constructed in tandem with the proposed car wash.

The applicants have submitted an original and revised site plan. The second plan is closer to compliance with the Lancaster County UDO but is still missing key points.

ATTACHMENTS:

Description	Upload Date	Type
Application	5/9/2023	Exhibit
Survey Plat	5/9/2023	Exhibit
Turning Analysis	5/9/2023	Exhibit
Revised Site Plan 6/19/2023	7/5/2023	Exhibit
Revised Review Comments 6/28/2023	7/5/2023	Exhibit

Banks McGinn
1825 Shady Pine Circle
Fort Mill, SC 29715

Sallie M. Cooper
10 Shaded Way
Round Rock, TX 78664

March 20, 2023

Lancaster County Planning Department
P.O. Box 1809, 101 N. Main Street
Lancaster, SC 29721

To Whom It May Concern:

We, George Banks McGinn and Sallie M. Cooper, give permission for TIL Holding of Texas LLC to apply for the conditional use zoning for the use of a car wash and office to be located at 168 Fort Mil Highway.

Signed,

George Banks McGinn
Property Owner

George Banks McGinn

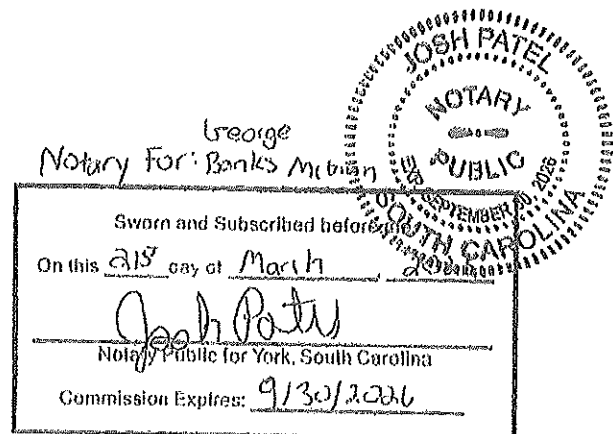
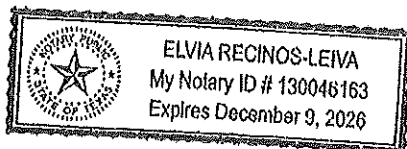
Sallie M. Cooper
Property Owner

Sallie M. Cooper

Notarized

Subscribed and sworn to before me by
Sallie M. Cooper
on this the *21* day of *March, 2023*.

Elvia Recinos-Leiva
Notary Public





Planning Department
P.O. Box 1809, 101 N. Main Street, Lancaster, SC 29721
Phone: 803.285.6005, planning@lancastercountysc.net
www.mylancastersc.org

CONDITIONAL USE APPLICATION

SUBMITTAL REQUIREMENTS

- Completed Application
- Signatures of Applicant and Property Owner
- All items noted on the Conditional Use Plan Checklist
- Fees associated with review

GENERAL INFORMATION

Property Address 168 Fort Mill Highway
City Indian Land State SC Zip 29707 Tax Parcel ID 0008-00-007.00
Current Zoning GB Current Use Single Family (vacant)
Total Acres 2.9 Surrounding Property Description Undeveloped (AR),
Commercial (GB), Industrial (GB)
Proposed Conditional Use Express car wash and Office

CONTACT INFORMATION

Applicant Name TIL Holdings of Texas, LLC
Address 1225 Mercedes Benz Dr
City Shreveport State LA Zip 71115 Phone 318-698-5770
Fax 318-797-6504 Email sburson@tixpresswash.com
Co-Property Owner Name GEORGE BANKS MEGINN
Address 1825 SHADY PINE CIRCLE
City FORT MILL State S.C. Zip 29715 Phone 803-482-7156
Fax _____ Email BANKSMEGINN@GMAIL.COM

CONDITIONAL USE PLAN CHECKLIST

- ☒ The size of the plan and number of copies should conform to the following: Eight copies that are 24" x 36" (full size) and Two copies that are 11" x 17" (reduced size).
- ☒ A descriptive location of the property and vicinity map at a scale of not less than one inch equals one mile.
- ☒ Proposed name of the development.
- ☒ The date of the survey or plan.
- ☒ All plans shall be embossed with the seal and signature of the engineer/surveyor responsible for the work.
- ☒ A graphic scale and numerical scale shall be shown on the plan.
- ☒ The North arrow shall be shown and be accurately correlated with the courses with indications as to whether it is true, magnetic or grid.
- ☒ Total acreage and boundaries of the development shall be shown on the plan.
- ☒ All existing and proposed uses of land throughout the tract shall be shown on the plan.
- ☒ Topography of the site with a contour interval of not more than 5 feet shall be shown on plan.
- ☒ Typical arrangement of existing and proposed buildings and structures, including dimensions, elevations, uses, and setbacks shall be shown on the plan.
- ☒ Location of adjoining property lines and existing buildings shall be shown on the plan.
- ☒ The names of adjacent landowners, lot and/or block numbers, highways, streets, and named waterways shall be shown.
- ☒ All property lines shall be defined by course and horizontal distance. All property lines shall be plotted to the scale shown in the title.
- ☒ All easements and rights-of-way of existing and proposed buildings and structures shall be shown and shall include their widths and center lines.
- ☒ All existing street intersections shall be shown on the plan.
- ☒ Proposed parking areas and traffic circulation shall be shown on the plan.
- ☒ Exact ratio of impervious surfaces to lot area shall be shown.
- ☒ At a minimum the plan shall include basic landscape information such as the location and dimension of required buffer yards.

APPLICATION CERTIFICATIONS

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[Signature]
Applicant TIL Holdings of Texas, LLC

3-21-2023
Date

[Signature]
Property Owner(s) *[Signature]*

3/21/23
Date

Attach owner's notarized written authorization with property information if the applicant is not the owner.

LANCASTER COUNTY OFFICE USE ONLY

Application Number _____ Date Received _____ Receipt Number _____

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Received By _____ Planning Commission Meeting Date _____

SCHEDULE/PROCESS

1. Submit Application

- The deadline for this application is at least 45 days prior to the Planning Commission meeting, held every third Tuesday of the month.
- Once an application is submitted, it is placed on the Planning Commission agenda for the following month.
- An application withdrawal should be made in writing and received prior to public notice in order to receive a refund.
- Conditional Use Application Fee - \$325.00

2. Planning Commission

- Conducts a public hearing on the application to receive input from Lancaster County citizens, applicant, and other interested parties.
- Reviews the application to ensure it is consistent with the Lancaster County Unified Development Ordinance, Comprehensive Plan, and all adopted County plans.
- Makes a recommendation to the County Council.

3. County Council

- Approves, denies, or submits application to the Planning Commission for further study.
- Action requires a resolution for approval.
- Subsequent to County Council action, notice of action will be provided to the applicant,

owner, and adjacent property owners.

- **Please note that upon approval of a conditional use, the applicant shall subsequently submit a site plan to The Lancaster County Planning Department for review. This site plan shall conform to the site plan process as enumerated in UDO Section 9.2.9 (Site Plan Process Chart)**

LEGEND:

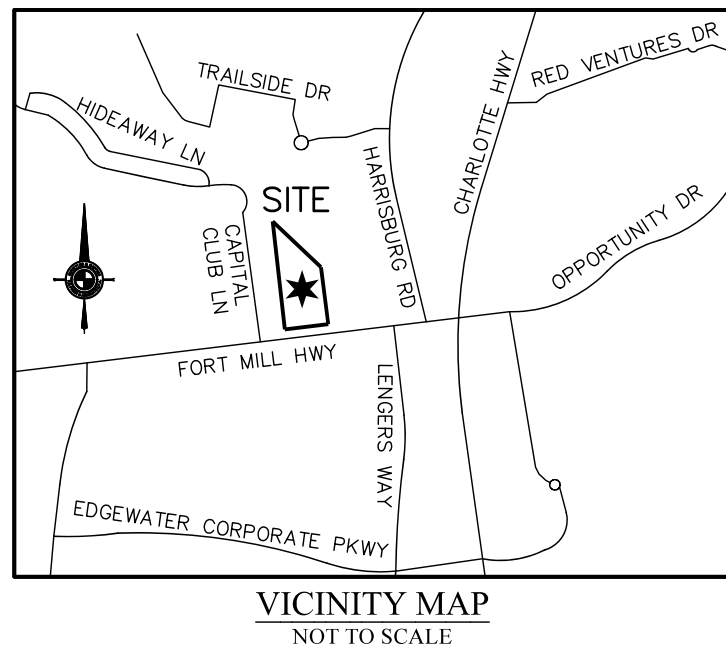
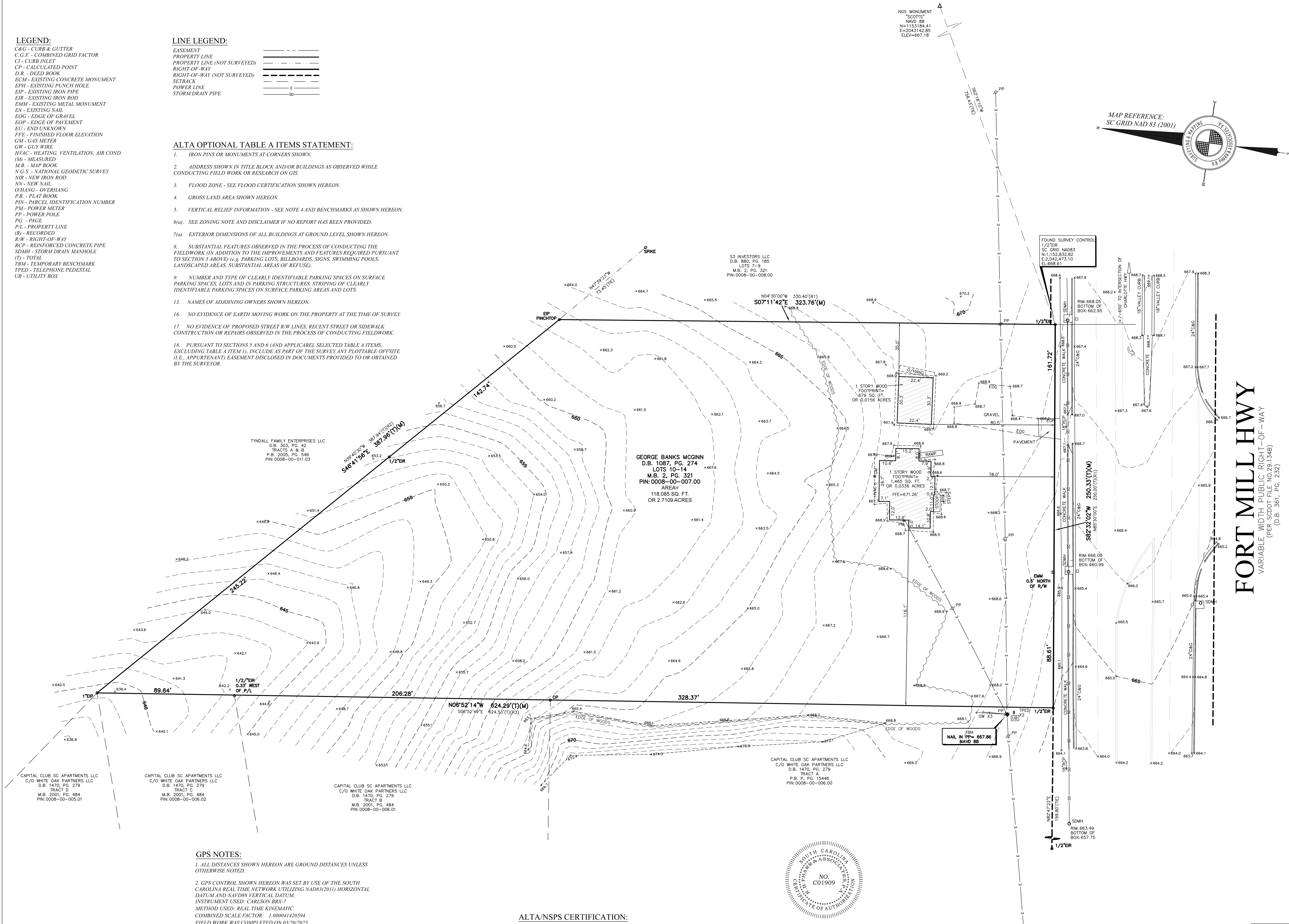
C&G - CURB & GUTTER
C.G.F. - COMBINED GRID FACTOR
CI - CURB INLET
CP - CALCULATED POINT
D.B. - DEED BOOK
ECM - EXISTING CONCRETE MONUMENT
EPH - EXISTING PUNCH HOLE
EIP - EXISTING IRON PIPE
EIR - EXISTING IRON ROD
EMM - EXISTING METAL MONUMENT
EN - EXISTING NAIL
EOG - EDGE OF GRAVEL
EOP - EDGE OF PAVEMENT
EU - END UNKNOWN
FFE - FINISHED FLOOR ELEVATION
GM - GAS METER
GW - GUY WIRE
HVAC - HEATING, VENTILATION, AIR COND.
(M) - MEASURED
M.B. - MAP BOOK
N.G.S. - NATIONAL GEODETIC SURVEY
NIR - NEW IRON ROD
NN - NEW NAIL
OHANG - OVERHANG
P.B. - PLAT BOOK
PIN - PARCEL IDENTIFICATION NUMBER
PM - POWER METER
PP - POWER POLE
PG - PAGE
P/L - PROPERTY LINE
(R) - RECORDED
R/W - RIGHT-OF-WAY
RCP - REINFORCED CONCRETE PIPE
SDMH - STORM DRAIN MANHOLE
(T) - TOTAL
TBM - TEMPORARY BENCHMARK
TPED - TELEPHONE PEDESTAL
UB - UTILITY BOX

LINE LEGEND:

EASEMENT
PROPERTY LINE
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETBACK
POWER LINE
STORM DRAIN PIPE

ALTA OPTIONAL TABLE A ITEMS STATEMENT:

- IRON PINS OR MONUMENTS AT CORNERS SHOWN.
- ADDRESS SHOWN IN TITLE BLOCK AND/OR BUILDINGS AS OBSERVED WHILE CONDUCTING FIELD WORK OR RESEARCH ON GIS.
- FLOOD ZONE - SEE FLOOD CERTIFICATION SHOWN HEREON.
- GROSS LAND AREA SHOWN HEREON.
- VERTICAL RELIEF INFORMATION - SEE NOTE 4 AND BENCHMARKS AS SHOWN HEREON.
- SEE ZONING NOTE AND DISCLAIMER IF NO REPORT HAS BEEN PROVIDED.
- EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL SHOWN HEREON.
- SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK (IN ADDITION TO THE IMPROVEMENTS AND FEATURES REQUIRED PURSUANT TO SECTION 5 ABOVE) (E.G. PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, SUBSTANTIAL AREAS OF REFUSE).
- NUMBER AND TYPE OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING SPACES, LOTS AND IN PARKING STRUCTURES, STRIPING OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS.
- NAMES OF ADJOINING OWNERS SHOWN HEREON.
- NO EVIDENCE OF EARTH MOVING WORK ON THE PROPERTY AT THE TIME OF SURVEY.
- NO EVIDENCE OF PROPOSED STREET R/W LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
- PURSUANT TO SECTIONS 5 AND 6 (AND APPLICABLE SELECTED TABLE ITEMS, EXCLUDING TABLE A ITEM 1), INCLUDE AS PART OF THE SURVEY ANY PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENT DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR.



NOTES:

- ELEVATIONS BASED ON N.G.S. MONUMENT "SCOTT'S", ELEVATION = 667.18 FEET, NAVD 88.
- BROKEN LINES UNLESS THEY HAVE A METES AND BOUNDS DESCRIPTION, INDICATE PROPERTY LINES NOT SURVEYED.
- THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.
- THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.

RECORDED BEARING REFERENCES:

- R1 - M.B. 2, PG. 321
R2 - P.B. 2005, PG. 546
R3 - D.B. 1470, PG. 282

ZONING:

SUBJECT PROPERTY ZONED: MX (MIXED USE)
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
NO ZONING REPORT WAS PROVIDED AT TIME OF SURVEY, PURSUANT TO ALTA TABLE A ITEM 6. PURCHASER/DEVELOPER TO VERIFY ZONING REQUIREMENT PRIOR TO FURTHER DEVELOPMENT OF SITE.

FOR FURTHER INFORMATION CONTACT THE LANCASTER COUNTY ZONING DEPARTMENT AT 803-416-9777.

PARKING:

NO PARKING SPACES OBSERVED ON PROPERTY



Know what's below.
Call before you dig.

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

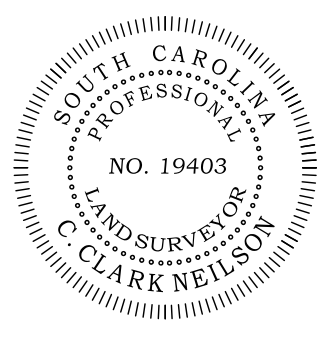
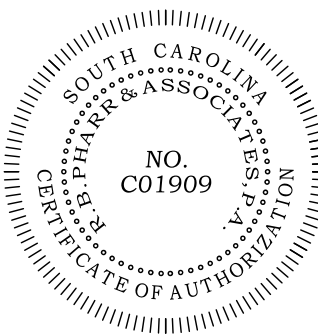
ALTA/NSPS CERTIFICATION:

TO: TIL HOLDINGS OF TEXAS, LLC

THIS IS TO CERTIFY THAT ON THE 4TH DAY OF APRIL, 2023, TO BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 6b, 7a, 8, 9, 13, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 4, 2023.

C. Clark Neilson
P.L.S. NO. 19403
cneilson@rbpharr.com

04-12-2023
DATE



FLOOD CERTIFICATION:

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED MAY 16, 2017.
MAP NUMBER: 4557C0040E; ZONE X

I HEREBY STATE THAT ON THE 4TH DAY OF APRIL, 2023, TO BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

SIGNED C. Clark Neilson

FORT MILL HWY
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
(PER SC DOT FILE NO.29.134E)
(D.B. 361, PG. 232)

AREA= 118,085 SQ. FT.OR 2.7109 ACRES

REVISIONS			
ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: TIL HOLDINGS OF TEXAS, LLC 168 FORT MILL HWY CITY OF INDIAN LAND, LANCASTER COUNTY, SC MAP REFERENCE: 2-321 DEED REFERENCE: 1087-274 TAX PARCEL NO: 0008-00-007.00			
R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING LICENSE NO. C01909 969 E. 7TH ST., #100 CHARLOTTE, N.C. 28204 TEL. (704) 376-2186			
CREW: NJC	DRAWN: KPM	REVISED:	SCALE: 1" = 30'
DATE: APRIL 4, 2023		JOB NO. 94981	

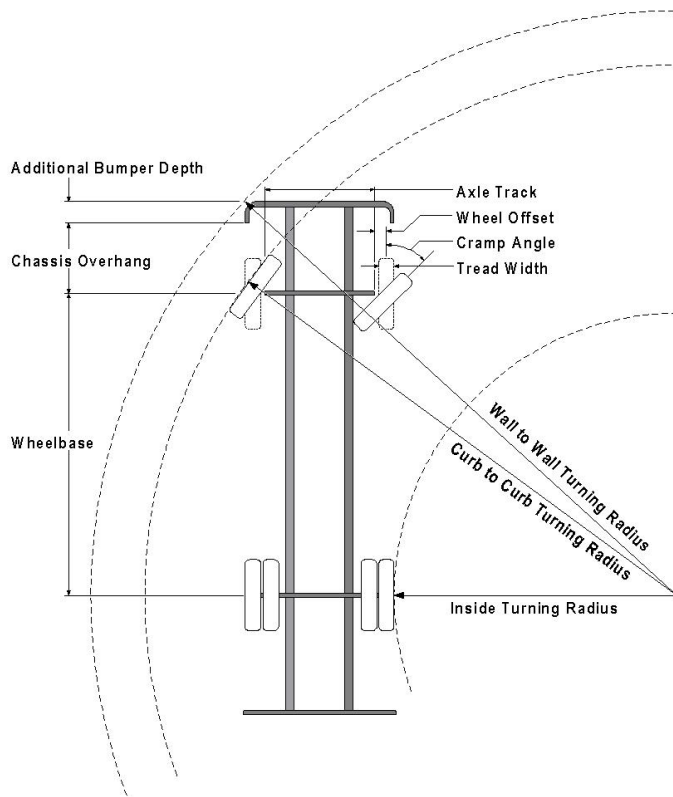


Turning Performance Analysis

11/03/2021

Bid Number: 588
Department: Lancaster County Fire Service

Chassis: Velocity Chassis, 100AAT
Body: Aerial, 100AAT, Alum Body



Parameters:

*Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.3 in.
Tread Width:	17.5 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	24 in.
Front Overhang:	102 in.
Wheelbase:	271 in.

Calculated Turning Radii:

Inside Turn:	25 ft. 9 in.
Curb to curb:	41 ft. 10 in.
Wall to wall:	46 ft. 10 in.

Category	Option	Description
Bumpers	0721868	Bumper, 24" Total (13" Extension), Polished S/S, Integrated, 100AAT, VEL
Axle, Front, Custom	0508846	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Velocity
Axle, Front, Custom	0508846	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Velocity
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0582746	Tires, Front, Goodyear, G296 MSA, 445/65R22.50, 20 ply
Aerial Devices	0771866	Aerial, Ascendant 100' Aerial Tower
Aerial Devices	0771866	Aerial, Ascendant 100' Aerial Tower
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Notes:

*Actual Inside cramp angle may be less than shown.

Curb to Curb turning radius calculated for 9.00 inch curb.

Definitions:

Inside CrampAngle	Maximum turning angle of the front inside fire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis , bumper extensions and or aerial devices.

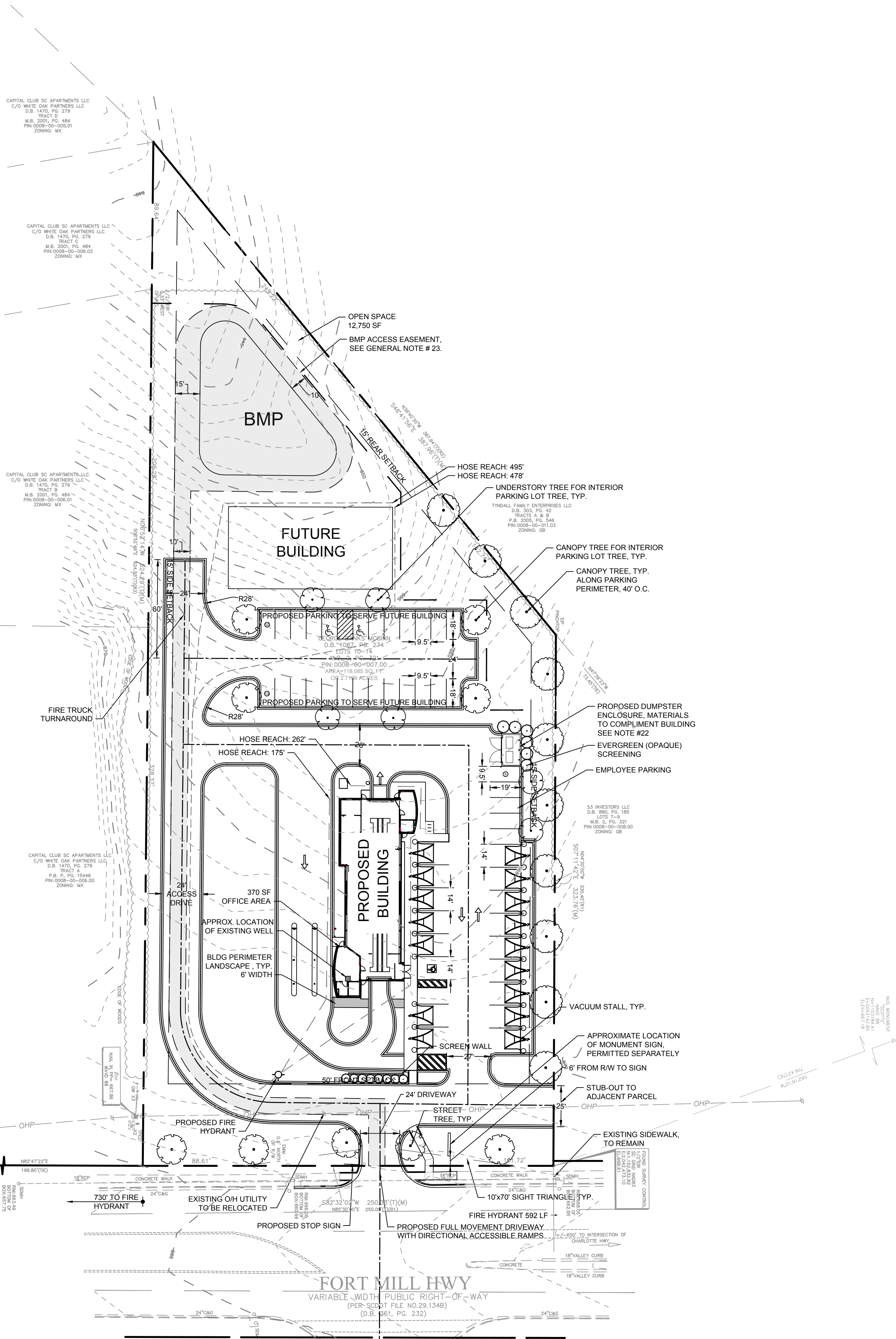
S:\1045654-Tommy's Express Car Wash\DWG\Sheet\CD-58654-C200-SITE_1_2047.dwg [Plotted on 6/19/2023 6:48 PM] by Jason Dolan

CAPITAL CLUB SC APARTMENTS LLC
C/O WHITE OAK PARTNERS LLC
D.B. 1470, PG. 279
TRACT D
M.B. 2001, PG. 484
PIN 0008-00-008.01
ZONING: MX

CAPITAL CLUB SC APARTMENTS LLC
C/O WHITE OAK PARTNERS LLC
D.B. 1470, PG. 279
TRACT E
M.B. 2001, PG. 484
PIN 0008-00-008.01
ZONING: MX

CAPITAL CLUB SC APARTMENTS LLC
C/O WHITE OAK PARTNERS LLC
D.B. 1470, PG. 279
TRACT F
M.B. 2001, PG. 484
PIN 0008-00-008.01
ZONING: MX

CAPITAL CLUB SC APARTMENTS LLC
C/O WHITE OAK PARTNERS LLC
D.B. 1470, PG. 279
TRACT A
M.B. 2, PG. 331
PIN 0008-00-008.00
ZONING: MX



STAKING INSET

SCALE: 1" = 80'

FIRE TRUCK MANEUVERING

SCALE: 1" = 80'

SITE SUMMARY

DEVELOPER: TIL HOLDINGS OF TEXAS, LLC
PROJECT NAME: TOMMY'S EXPRESS CAR WASH
TMS: 0008-00-007.00
ZONING: GB
OVERLAY: PANHANDLE HIGHWAY CORRIDOR OVERLAY DISTRICT (HCOD)
LOT SIZE: 2.7109 ACRES
EXISTING USE: SINGLE FAMILY RESIDENTIAL
PROPOSED USE: CAR WASH (EXPRESS TUNNEL) AND OFFICE (FUTURE)

BUILDING SIZE:
CARWASH: 5,200 SQUARE FEET
OFFICE (FUTURE): 5,000 SQUARE FEET

SETBACKS:
FRONT: 50'
SIDE: 15'
REAR: 15'

MAX BUILDING HEIGHT: 35' (OR 3 STORIES, WHICHEVER IS GREATER)
BUILDING HEIGHT: 28' - 0"

PARKING - CAR WASH
REQUIRED: (5,200 SF TOTAL, 4,830 SF WASH AREA, 370 SF OFFICE)
PROVIDED: 11 (1 SPACES/500 SF = 10.4 SPACES [5,200 / 500])
22 (INCLUDES 1 ACC. SPACE)

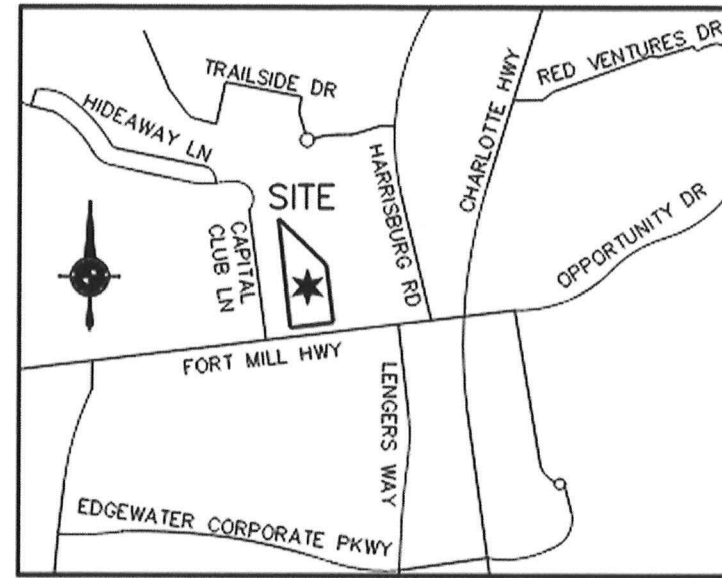
PARKING - OFFICE (FUTURE)
REQUIRED: 20 (1 SPACES/250 SF = 20 SPACES [5,000 / 250])
PROVIDED: 25 (INCLUDES 2 ACC. SPACE)

BUFFER YARDS: NOT REQUIRED (GB ADJACENT TO GB AND MX)

OPEN SPACE
REQUIRED: 11,809 SF (10% OF 118,087)
PROVIDED: 12,750 SF

IMPERVIOUS SUMMARY

SITE ACREAGE: 118,084 SF (2.71 ACRES)
PROPOSED BUILDINGS: 9,710 SF
PROPOSED PAVEMENT: 55,693 SF
FINAL BUA %: 55.4%



VICINITY MAP

NOT TO SCALE

SITE PLAN LEGEND

---	R/W, PROPERTY LINE	
---	1'-6" CURB AND GUTTER	-/-
+	STOP SIGN	
+	STREET SIGN	
+	HEAVY-DUTY CONCRETE	-/-
+	CONCRETE	-/-
+	CONCRETE SIDEWALK	-/-

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DETERMINE IF THERE ARE ANY DISCREPANCIES FROM THE PLANS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO USE ARCHITECTURAL DRAWINGS FOR EXIST DIMENSIONS OF THE BUILDING.
- CONTRACTOR TO FOLLOW AND UTILIZE ALL LANCASTER COUNTY AND SCDOT TRAFFIC CONTROL GUIDELINES SET FORTH FOR ALL WORK PERFORMED IN THE RIGHT-OF-WAY. CONTRACTOR TO COORDINATE AND CALL FOR INSPECTIONS AS SPECIFIED IN THE PERMIT.
- CONTRACTOR IS TO CUT A CLEAN EDGE ALONG EXISTING PAVEMENT PRIOR TO TYING IN NEW DRIVE. NEW ASPHALT, BASE MATERIAL, AND PAVEMENT CONSTRUCTION METHODS SHALL MEET MINIMUM REQUIREMENTS OF LANCASTER COUNTY AND SCDOT.
- ALL TRAFFIC SIGNAGE AND STREET MARKINGS IN THE RIGHT-OF-WAY SHALL USE REFLECTIVE SHEETING THAT MEETS THE REQUIREMENTS OF ASTM D4956-09. OBTAIN SHEETING FROM MANUFACTURERS PREQUALIFIED IN ACCORDANCE WITH THE LANCASTER COUNTY AND SCDOT QUALIFIED PRODUCT POLICY 20 AND WHO APPEAR IN THE CURRENT EDITION OF SCDOT QUALIFIED PRODUCTS LIST 20.
- ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL RADII SHALL BE 5' (F.O.C.) UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ESTABLISH AND VERIFY POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY TIMMONS IMMEDIATELY OF ANY DISCREPANCIES.
- ALL DIMENSIONS ARE TO FACE OF CURB OR CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- ALL SIDEWALKS SHALL BE MINIMUM 5'-0" UNLESS OTHERWISE NOTED.
- PARKING SPACE DIMENSIONS ARE 18'-0" x 9'-5" WIDE UNLESS OTHERWISE NOTED.
- NO OBSTRUCTION OF PUBLIC R/W OR SIDEWALK WILL BE ALLOWED. NO PARKING IS ALLOWED OVER PUBLIC SIDEWALKS.
- NO DEMOLITION LANDFILLS ALLOWED ON SITE.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- ALL UTILITIES WILL BE UNDERGROUND.
- OFF-SITE CONSTRUCTION OR GRADING REQUIRES A LETTER FROM THE AFFECTED PROPERTY OWNER GRANTING PERMISSION.
- EXISTING WELLS SHALL BE CLOSED ACCORDING TO SCDHEC STANDARD PROCEDURES.
- DEMOLITION PERMITS ARE REQUIRED FOR ANY STRUCTURE ON THE PROPERTY PRIOR TO CONSTRUCTION.
- DUMPSTER ENCLOSURE, MECHANICAL EQUIPMENT, AND UTILITY BORES SHALL BE SCREENED FROM VIEW FROM ALL ADJACENT PARCELS, RESIDENTIAL USE DISTRICTS AND PUBLIC R/W'S.
- THE BMP ACCESS EASEMENT SHALL BE A MINIMUM OF 10' IN WIDTH AND HAVE A SLOPE NOT GREATER THAN 4:1 FOR MAINTENANCE EQUIPMENT.

TRAFFIC NOTES

- SIGHT DISTANCE VISIBILITY AT ALL ENTRIES/EXITS WILL BE MAINTAINED IN ACCORDANCE WITH SCDOT'S ACCESS AND ROADSIDE MANAGEMENT STANDARDS MANUAL.
- ALL TRAFFIC CONTROL DEVICES WILL BE TO MUTCD STANDARDS (MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES).

ADA NOTES

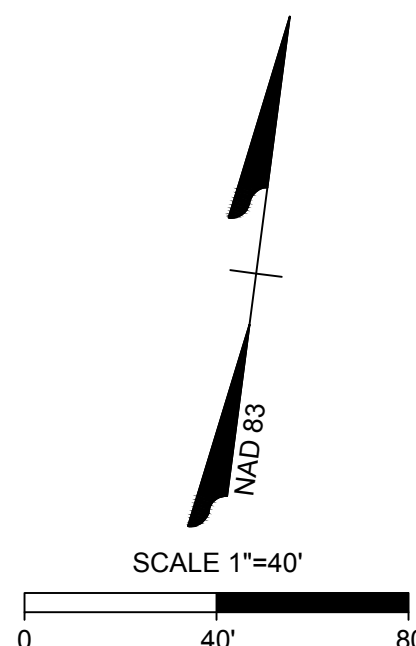
- THE PUBLIC RIGHT OF WAY MUST REMAIN ADA COMPLIANT DURING CONSTRUCTION OR AN ALTERNATIVE ROUTE MUST BE PROVIDED.
- ALL ACCESS POINTS TO BUILDING ARE PLANNED TO BE ADA COMPLIANT.
- MINIMUM 98-INCH VERTICAL CLEARANCE MUST BE PROVIDED AT ADA VAN PARKING SPACE, ACCESS AISLE, AND ON VEHICULAR ROUTE TO AN FROM VAN SPACE.

SPECIAL LIGHTING NOTES

- LIGHTING SHALL BE SHIELDED AND INSTALLED TO MINIMIZE GLARE ON ADJACENT PROPERTIES.
- SIGNAGE TO BE PLACED ON DUMPSTER GATES DESIGNATING THAT NO PARKING WILL BE ALLOWED IN FRONT OF DUMPSTER.

SURVEY NOTES

- THE ALTA/NPS LAND TITLE SURVEY HAS BEEN PREPARED BY R.B. PHARR & ASSOCIATES, P.A. AND IS DATED APRIL 4, 2023.



THIS DRAWING PREPARED AT THE
CHARLOTTE OFFICE
610 E. W. Street, Suite 100, Charlotte, NC 28202
TEL: 704.602.8800 FAX: 704.376.1076
www.timmons.com
North Carolina License No. C-1652

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
04/17/2023	
	DRAWN BY J.DOLAN
	DESIGNED BY J.DOLAN
	CHECKED BY J.DOLAN
	SCALE 1" = 40'

TIMMONS GROUP

TOMMY'S EXPRESS CAR WASH
LANCASTER COUNTY, SOUTH CAROLINA
CONDITIONAL SITE PLAN

JOB NO. 58654
SHEET NO. CSP1.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



Lancaster County
Planning Department
P. O. Box 1809
Lancaster, SC 29721
803.285.6005
planning@lancastercountysc.net

June 28, 2023

Jason Dolan
Timmons Group

Charlotte, NC

Project Number	20230695
Project Name	Tommy's Express Car Wash
Location	168 Fort Mill Highway
Stage	Conditional Use
Parcel(s)	
Status	Not Approved

Dear: Jason Dolan

We have completed our review of the plan identified above. The comments listed on the attached report must be addressed and revised plans submitted with a response letter.

If the attached comments require changes to the plans, please submit the requisite number of sets, along with a pdf of the plan set on a CD, to the Lancaster County Planning Department.

Once revised plans are received, they will be submitted to staff for review.

Please be aware that plans will not be routed for review without a response letter

Sincerely,

Plan Review Comments

County Engineer - Stephen Blackwelder - 8035482406
sblackwelder@lancastersc.net

Approved

Review Comments:

Fire Marshal - John Magette - 8032838888
jmagette@lancastersc.net

Approved

Review Comments:

LC Water & Sewer District - Erin Evans - 8032856919
eevans@lcwasd.org

No Review Done

Review Comments:

LCWSD is a separate entity from the County. We have our own submittal requirements. Please check our website, www.lcwasd.org, under the Developers tab for our policies and procedures.

The developer must submit 2 sets of hard copy water and sewer plans directly to LCWSD, adhering to the LCWSD Water & Wastewater Extension Policy.

SCDOT - David Gamble - (803) 385-4280
GambleDD@scdot.org

Approved

Review Comments:

Driveway ingress and egress must align with the access across the street.

Restriping of SC160 will be evaluated during the encroachment permit process.

This review is a general access location review only and does not include required driveway widths, radius returns, pavement design or any other details.

A full review for compliance with the SCDOT ARMS manual will be conducted when the SCDOT permit is applied for.

Planning - Matthew Blaszyk - 803-285-6005
mblaszyk@lancastersc.net

Not Approved

Review Comments:

The screening wall that is located in front of the drivethrough must be extended to screen the entire drivethrough from SC.160. This needs to be constructed with stacked stone (UDO 4.3.4).

The proposed office space parking lot requires a landscaping island for every 10 parking spaces 7.1.4.C.

Please label the bike racks on the plan, I can not seem to locate the label.

Please mark/label the open space on the plans.

Agenda Item Summary

Ordinance # / Resolution #: RZ-2023-0739 Barchu

Contact Person / Sponsor: M. Blaszyk

Department: Planning

Date Requested to be on Agenda: 7/6/2023

Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
Application	6/22/2023	Exhibit
Plat	6/22/2023	Exhibit



Planning Department

P.O. Box 1809, 101 N. Main Street, Lancaster, SC 29721
Phone: 803.285.6005, planning@lanastercountysc.net
www.mylanastersc.org

ZONING MAP AMENDMENT APPLICATION

SUBMITTAL REQUIREMENTS

- Completed Application
- Signatures of Applicant and Property Owner
- Deed and survey plat or boundary survey
- Fees associated with review

GENERAL INFORMATION

Property Address 165 Brooklyn Avenue
City Lancaster State SC Zip 29720 Tax Parcel ID 0081H-0C-013.00
Current Zoning MDR Current Use vacant/commercial structure
Proposed Zoning NB Total Acres approx .30 acres
Project Description Rezone from MDR to NB to allow continuation of former commercial use of structure. Business was closed for 3 years and lost non-conforming use.
New commercial tenancy requires change in zoning

Surrounding Property Description NB zoning to east and further along Brooklyn Avenue. Largely MDR surrounding on other sides of property.

CONTACT INFORMATION

Applicant Name BarbyBarchu
Address 305 Cedar Street
City Lancaster State SC Zip 29720 Phone 704-963-5732
Fax _____ Email barbybarchu@gmail.com
Property Owner Name Barby & Lou Barchu
Address same
City _____ State _____ Zip _____ Phone _____
Fax _____ Email _____

I hereby certify that I have read this application and the information supplied herein is true and correct to the best of my knowledge. I agree to comply with all applicable County ordinances and state laws related to the use and development of the land. I further certify that I am the property owner, or his/her authorized agent, or the subject property. I understand that falsifying any information herein may result in rejection or denial of this request.

XX Burby H. Barichue
Applicant

~~04~~ 21-2023
Date

XX Burby H. Barichue
Property Owner(s)

04 21-2023
Date

Attach owner's notarized written authorization with property information if the applicant is not the owner.

LANCASTER COUNTY OFFICE USE ONLY

Application Number _____ Date Received _____ Receipt Number _____

Amount Paid _____ Check Number _____ Cash Amount _____

Received By _____ Planning Commission Meeting Date _____

SCHEDULE/PROCESS 1. Submit Application

- The deadline for this application is at least 45 days prior to the Planning Commission meeting, held every third Tuesday of the month.
- Once an application is submitted, it is placed on the Planning Commission agenda for the following month.
- An application withdrawal should be made in writing and received prior to public notice in order to receive a refund.
- Rezoning Application Fee – single parcel \$435.00
- Rezoning Application Fee – multi parcel \$610.00

2. Planning Commission

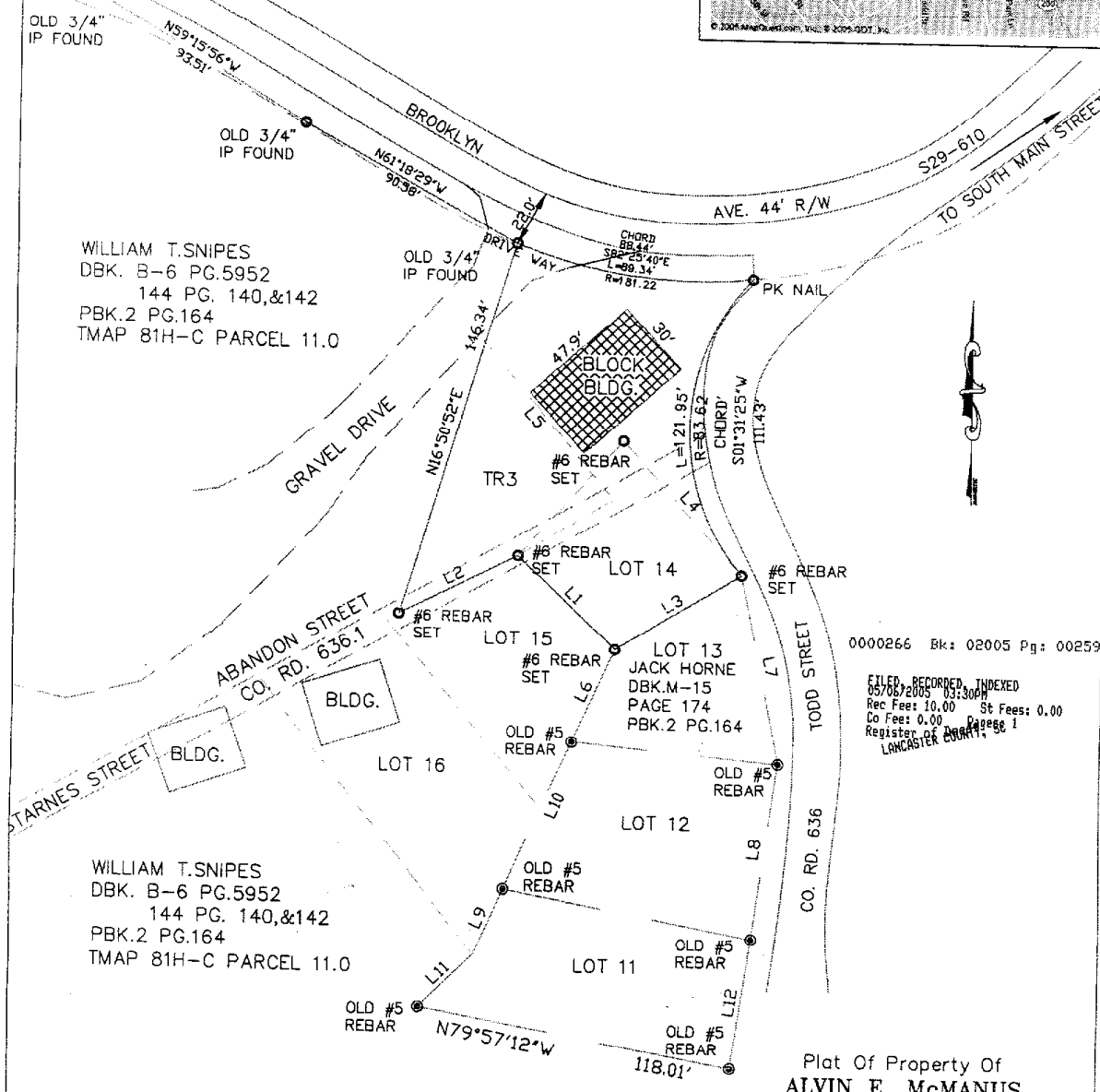
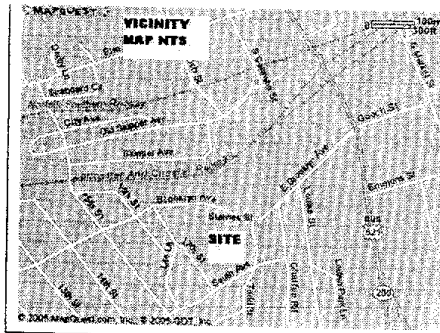
- Conducts a public hearing on the application to receive input from Lancaster County citizens, applicant, and other interested parties.
- Reviews the application to ensure it is consistent with the Lancaster County Unified Development Ordinance, Comprehensive Plan, and all adopted County plans.
- Makes a recommendation to the County Council.

3. County Council

- Approves, denies, or submits application to the Planning Commission for further study.
- Action requires three readings for approval.
- Subsequent to final County Council action on rezoning, notice of action will be provided to the applicant, owner, and adjacent property owners.
- If applicant would like to request a special presentation, please notify the County Clerk @ (803) 416-9307 before 5:00pm on the first Monday of the month to make arrangements.

AREA= 0.270 AC.
 DEED REFERENCE:
 DEED BOOK Z-3 PAGE 187 (LOT 14)
 DEED BOOK G-3 PAGE 247 (TR.3)
 DEED BOOK C-3 PAGE 340

LINE TABLE		
LINE	LENGTH	BEARING
L1	50.40	N46°12'26"W
L2	49.62	S62°39'31"W
L3	55.00	S58°02'34"W
L4	66.50	S41°41'00"E
L5	75.90	S39°49'30"E
L6	38.00	S24°02'34"W
L7	72.15	N11°38'33"W
L8	66.57	N08°11'30"E
L9	27.16	N24°02'34"E
L10	61.04	S24°02'34"W
L11	28.22	S45°02'28"W
L12	48.86	N08°09'57"E



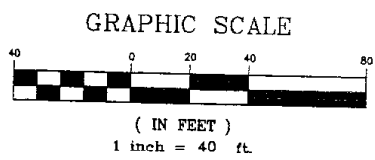
0000266 Bk: 02005 Pg: 00259
 FILED, RECORDED, INDEXED
 05/06/2005 03:30PM
 Rec Fee: 10.00 St Fees: 0.00
 Co Fee: 0.00 Page 1
 Register of Deeds
 LANCASTER COUNTY

NOTE: This lot does not lie within any designated flood area and there are no encroachments or projections other than as shown on this plat.

Ordinance #415 -
 This plat does not create any new lots, easements, right-of-ways or property lines.

Plat Of Property Of
ALVIN E. McMANUS
 Located At
 165 Brooklyn Ave.
 Lancaster, South Carolina
 Lancaster County

Scale 1" = 40' Date 03/31/05



I hereby state to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class B survey as specified therein."

OWN BY:	JCC	DATE:	03/31/2005
LOKED BY:	JCC	TAX MAP	81H-C PARCEL 10&13
P. NO.:	05-3-4	SHEET	1 OF 1

J. C. Crumpler

Survey By: J. C. Crumpler
 S.C. Reg. No. 6574
 207 Chesterfield Avenue
 Lancaster, South Carolina
 1-803-283-9818

Agenda Item Summary

Ordinance # / Resolution #: RZ-2023-0831 Grace-Lynwood UMC

Contact Person / Sponsor: M. Blaszyk

Department: Planning

Date Requested to be on Agenda: 7/6/2023

Points to Consider:

ATTACHMENTS:

Description	Upload Date	Type
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Plat	6/22/2023	Exhibit



Planning Department

P.O. Box 1809, 101 N. Main Street, Lancaster, SC 29721
Phone: 803.285.6005, planning@lanastercountysc.net
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ZONING MAP AMENDMENT APPLICATION

SUBMITTAL REQUIREMENTS

- Completed Application
- Signatures of Applicant and Property Owner
- Deed and survey plat or boundary survey
- Fees associated with review

GENERAL INFORMATION

Property Address _____

City _____ State _____ Zip _____ Tax Parcel ID _____

Current Zoning _____ Current Use _____

Proposed Zoning _____ Total Acres _____

Project Description _____

Surrounding Property Description _____

CONTACT INFORMATION

Applicant Name _____

Address _____

City _____ State _____ Zip _____ Phone _____

Fax _____ Email _____

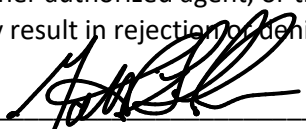
Property Owner Name _____

Address _____

City _____ State _____ Zip _____ Phone _____

Fax _____ Email _____

I hereby certify that I have read this application and the information supplied herein is true and correct to the best of my knowledge. I agree to comply with all applicable County ordinances and state laws related to the use and development of the land. I further certify that I am the property owner, or his/her authorized agent, or the subject property. I understand that falsifying any information herein may result in rejection or denial of this request.


Applicant

Date


Property Owner(s)

Date

Attach owner's notarized written authorization with property information if the applicant is not the owner.

LANCASTER COUNTY OFFICE USE ONLY

Application Number _____ Date Received _____ Receipt Number _____

Amount Paid _____ Check Number _____ Cash Amount _____

Received By _____ Planning Commission Meeting Date _____

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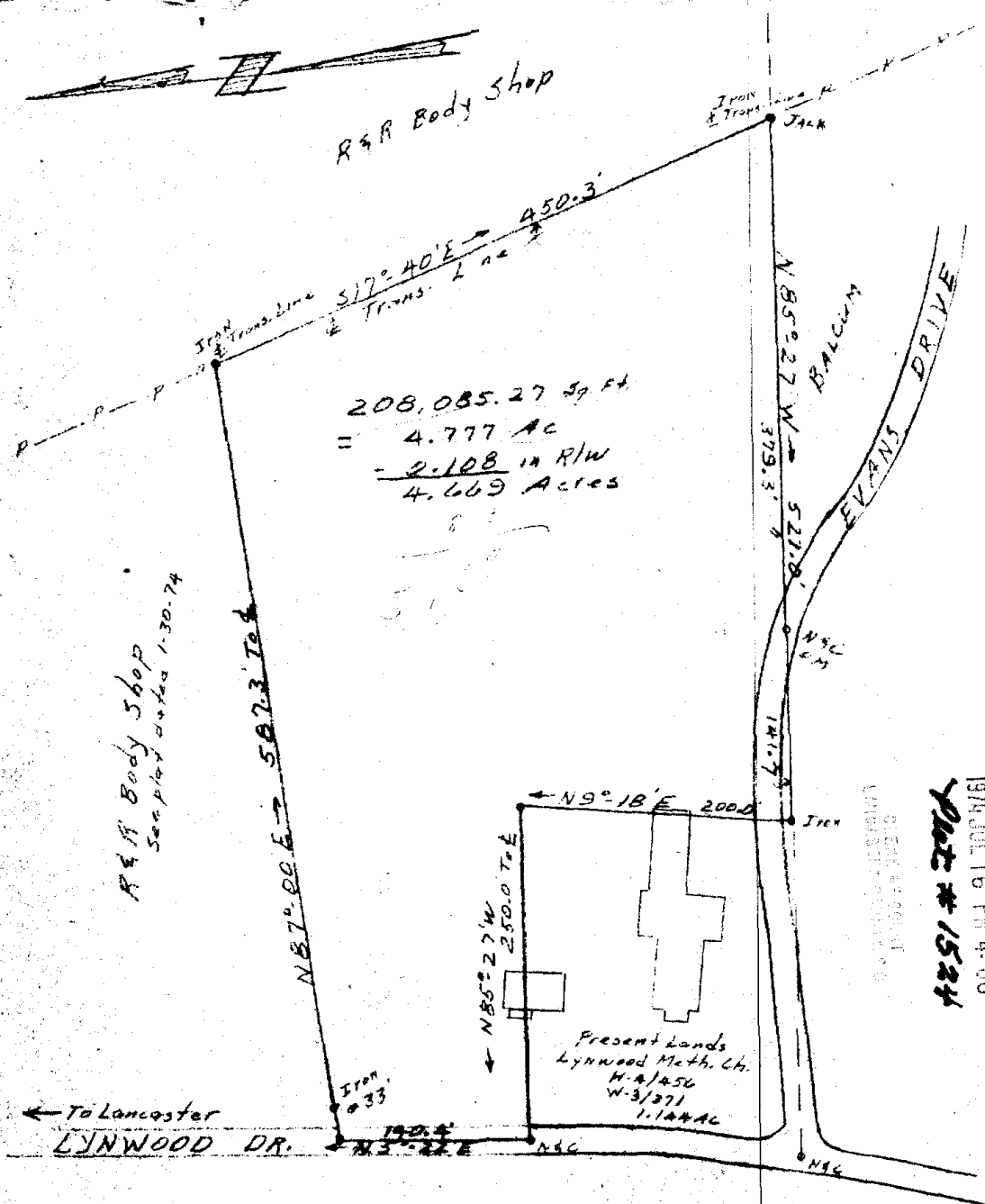
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STATE OF SOUTH CAROLINA
COUNTY OF LANCASTER
PROPERTY TO BE CONVEYED TO
LYNWOOD METHODIST CHURCH

Located south of Lancaster, near intersection of Lynwood Drive and Evans Drive. Being a portion of the lands shown on plat of R & R Body Shop, by Jack Smith, dated 1-30-74.

Scale: 1" = 100'

13 June 1974

Jack Smith
Jack Smith, RLS
100 Forest Drive
Lancaster, S. C.